


Complainant Information

Source LegacySystem ▼

Case Information

Complaint Building ▼ UB ▼

Summary UNSAFE, FIRE


Address  300090018604


9131 FT SMALLWOOD RD


PASADENA State 21122

Subdivision ROCK CREEK

Location Details 9129 FT SMALLWOOD RD

Received Date  07/28/2017 09:47 AM System ID 68643

Tickler Date  01/21/2019 02:00 PM Case ID B-2017-529

Completed Date  01/18/2019 09:38 AM

Receiver CHRISTINA BRAUN ▼

Owner Information

First Name Last Name (XXX)-XXX-XXXX

Owner, Second Name

Company Name Email

Address House Number Street Name Street Type

City State Zip

Violator Information

☐ Set Violator Same as Owner

JACKSON RALPH G Last Name (XXX)-XXX-XXXX

JACKSON PATRICIA A



Company Name


Address House Number 9131 FT SMALLWOOD RD Street Type

PASADENA 21122 State Zip

Assignment Information

Date Assigned  07/28/2017 12:00 AM

Inspector CHARLES SCHINDLER (209) (current)  Supervisor Select: 

Permit Number Waterfront N 

Original Case ID Critical Area N 

ADC Map Cty. Council N 

Case Organization

Case Details

UNSAFE, FIRE

Active Permit Application Information

Type	Permit #	Status
------	----------	--------

B	2247289	Completed
B	2346891	Pending
B	2348985	Completed
B	2351762	Pending
E	2132499	Completed
E	2214286	Completed
P	2162925	Completed
P	2216797	Expired
T	2038567	Completed
T	2040756	Completed

Other Cases On This Property

Case #	Received Date	Status	Summary
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Related Cases

type a case number or click to see related cases

Closed



Case Timeline

Last updated on Jan 14, 2019 by CHRISTINA BRAUN



CLOSE COMPLAINT

B02348985 CMP: 01/18/19

JANUARY 18, 2019 by: IPBRAU06



REINSPECTION

HAS STRUCTURE BEEN REMOVED. PLEASE OBTAIN NEW PICTURES

JANUARY 14, 2019 by: IPBRAU06



MONITORING

OCTOBER 2, 2018 by: IPBRAU06



MONITORING

MAY 30, 2018 by: undefined



Note

PERMIT APPROVED. MONITOR FOR INSPECTIONS AND COMPLETION

MARCH 5, 2018 by: undefined



Note

COMLTR: 12/12/17

JANUARY 5, 2018 by: undefined



PENDING PERMIT REVIEW

B02351762 RPLC ENTIRE ROOF*FIRE DAMAGE*,RPLC NON-STRUCTL WALL,LEVEL TOP PLATE AS NEEDED TO ACCOMODATE NEW TRUSSES(INTERIOR RNVNTNS REQUIRE SEPERATE PERMIT) APP: 12/01/17

DECEMBER 4, 2017 by: undefined



PERMIT ISSUED

B02348985 ISS: 09/08/17

OCTOBER 3, 2017 by: undefined



FIRST LETTER SENT

AUGUST 29, 2017 by: undefined



OPENED COMPLAINT CASE

JULY 28, 2017 by: undefined

Created on Jul 28, 2017 by CHRISTINA BRAUN

Building Section Complaint

Case ID: B - 2017 - 529
 Tax ID: 300090018604
 Received: 7/28/2017
 Tickler: 8/7/2017
 UB

Location: 9131 FT SMALLWOOD RD
 ROCK CREEK PASADENA 21122
 Details: 9129 FT SMALLWOOD RD
 Completed: UNSAFE, FIRE

Receiver: CHRISTINA BRAUN
 Date Assigned: 7/28/2017
 ADC Map:
 Water Front: N
 Cty. Council Ind: N
 Complainant:

Inspector: CHARLES SCHINDLER (209)
 Permit Number:
 Related Cases:
 Critical Area: N
 Case Org:
 Original ID:
 Violation:

Owner Information

Owner 1: JACKSON RALPH G
 Owner 2: JACKSON PATRICIA A
 Address: 9131 FT SMALLWOOD RD
 PASADENA 21122

Violator Information

Violator 1: JACKSON RALPH G
 Violator 2: JACKSON PATRICIA A
 Address: 9131 FT SMALLWOOD RD
 PASADENA 21122

Phone:

State Map:	18		01	0008	County Map:				
Map No:	Suffix	Block	Parcel		Plat	Sect	Block	Lot No	
Date	Event			Due Date	Request for Trial Date				
7/28/2017	OPENED COMPLAINT CASE			8/4/2017					

Posted unsafe 7/28/17
 Demo + rebuild

8-3-17 1ST LETTER

Charles A. Schindler

IPD993C/MS99 BROWSE PERMITS BY TAX ACCOUNT PAGE 001 OF 001

LINE	ACCT NUMB	PRMT NBR	STATUS	PROPOSED USE
1	300090018604	B02247289	C	"COCONUT CHARLIE'S" INTERIOR ALTERATIONS TO EX TENANT: COCONUT CHARLIE'S
2	300090018604	B02346891	P	REMOVE EX. RAMP & RPL. WITH 16X18 DECK & (2) NEW TENANT: COCONUT CHARLIES
3	300090018604	E02132499	C	CATV -FRONT OF ABOVE ADDRESS TENANT:
4	300090018604	E02214286	C	REWIRE LIGHTS & RECEPT IN BAR & INSTALL FIRE TENANT: COCONUT CHARLIE'S
5	300090018604	P02162925	C	INSTALL NEW DRAIN PIPE & WATER SUPPLY TO BAR AREA TENANT: COCONUT CHARLIE'S
6	300090018604	P02216797	E	Replacement of Existing Fixtures TENANT:
7	300090018604	T02038567	C	INSTALL 500 GALLON GREASE TRAP TENANT:
8	300090018604	T02040756	C	1500 GALLON TANK TENANT:
9				TENANT:

ACCOUNT HAS EXPIRED PERMIT(S)

LINE NUMBER (1-9)/PAGE (B,F) F PAGE NUMBER 000 HIT ENTER
F10=RETURN F11=CPF MENU F12=PIPS MENU

END OF REPORT

PAGE NUMBER 1	MAP	BLK	PARCEL	PLAT	SECT	BLOCK	LOT	DEED REFER
3000-9001-8604	18	01	0008					06560-718
PREMISE ADDRESS								
JACKSON RALPH G			9131 FT SMALLWOOD RD					
JACKSON PATRICIA A								
PASADENA MD 21122								
MAILING ADDRESS								
9131 FORT SMALLWOOD RD			2 ACRES			GENERAL CODES		
			9131 FT SMALLWOOD RD			EXEMPT DATE CD CL		
PASADENA			MD 21122			000		
			ROCK CREEK			USE CODE C		
						H O CODE		
	LAND	BUILDINGS	TOTAL	PREFER	LAND	CURTILAGE	OWN OCCUP	D
CUR	150,000	225,400	375,400			130,100	AG TRSF TX	
1	150,000	225,400	375,400			130,100	AG DAT	
2	150,000	225,400	375,400			130,100	REASSESSMENT	
3	150,000	225,400	375,400			130,100	PH 07-01-2015	
BASE	187,400	214,600	402,000			141,300	ASSR 0283	
HST	150,000	225,400	375,400			130,100	GEO CODE 1	
PREV ACCOUNT NO			PREVIOUS OWNER			TRNS NO		
3000-9001-8604			JACKSON, CHESTER W			01351		
						G F 1.000000		
						PGF 1.000000		

FOR A DIFFERENT PAGE HIT ENTER ELSE HIT F1-MENU F2-WB F3-UTIL F4-LIEN
 F5-USE F6-NAME F7-LOCAT F8-HLTH F9-PREM F10-MORE F11-FF/CAP F

PAGE NUMBER 2
3000-9001-8604

TXBL IND **1**
 TXBL ASSMT **352,576**

* CURRENT SALES DATA *
 TRANSFER NUMBER **01351**
 TRANSFER DATE **02-09-1994**
 CONSIDERATION
 MORTGAGE
 GROUND RENT
 HOW CONVEYED **4**
 T/P CONVEYANCE **T**

6 MONTHS ONLY
 NEW CONSTRUCTION
 INC OTHER PROPERTY

* PROPERTY CHARACTERISTICS *
 STRUCTURE CODE
 YEAR BUILT **1950**
 AMENITY CODE ZONING
 LAND AREA **2.000 ACRES**
 MAIN BUILDING AREA **5179 SQ FT**
 NUMBER LOTS

* WATER/SEWER DATA *
 WATER TYPE
 SEWER TYPE **2 SEPTIC** SEWER UNITS **001**
 * W A S T E D A T A *
 AACO **001 ANNAPOLIS 000** ZONE

FOR A DIFFERENT PAGE HIT ENTER ELSE HIT **F1-MENU** F2-WB F3-UTIL F4-LIEN
F5-USE F6-NAME F7-LOCAT **F8-HLTH** F9-PREM **F10-MORE** F11-FF/CAP B



Department of Inspections and Permits
2664 Riva Road, Annapolis, Maryland 21401
410-222-7790

DAMAGE INSPECTION REPORT

Immediate Action Required on Number

Date July 28, 2017

Building Address: 9129 Fort Smallwood Road

Use Group: ☐ Single Family ☒ Other Bar

Construction Type: ☒ Wood Frame ☐ Masonry ☐ Other

1. **Building Condition:** ☐ Safe For Occupancy ☐ Habitable, Repairs Necessary
☐ Uninhabitable - Keep Out ☒ Demolition Recommended

2. **Exterior Wall Condition:** ☒ Damage ☐ N

☒ Windows Gone ☒ Siding Damage ☒ Holes In Wall

☐ Wall Bowed (which wall) ☐ Wall Unsafe (which wall)

☐ Wall Gone (which wall) ☐ Comment

3. **Roof Condition:** ☒ Damage ☐ N

☒ Holes In Roof ☐ Shingle Damage ☒ Structural Damage ☐ Roof Unsafe ☐ Roof Gone

☐ Comment

4. **Foundation Condition:** ☐ Y ☒ Damage ☐ N

☐ Crawl Space ☐ Basement ☐ Building Shifted ☐ Building Off Foundation

☐ Foundation Cracked (which walls)

☐ Comment

5. **Floor Condition:** First Floor ☒ Damage ☐ N ☐ Holes In Floor ☐ Floor Shifted ☐ Structural Damage

Second Floor ☐ Y ☐ Damage ☐ N ☐ Holes In Floor ☐ Floor Shifted ☐ Structural Damage

☐ Comment

6. **Interior Bearing Walls:** ☒ Damage ☐ N ☐ Shifted ☐ Structural Damage

☐ Comment

7. **Heating System:** ☒ Damage ☐ N ☒ Duct Damage ☒ Appliance Damage

☐ Comment

8. **Plumbing System:** ☒ Damage ☐ N ☒ Fixture Damage ☒ Piping Damage

☐ Comment

9. **Electrical System:** ☒ Damage ☐ N ☒ Fixture Damage ☒ Circuit Breaker Box Damage

☐ Comment

10. **Utilities Condition:** Gas: ☒ Damage ☐ N Water: ☐ Y ☐ Damage ☐ N Electric: ☒ Damage ☐ N

☐ Comment

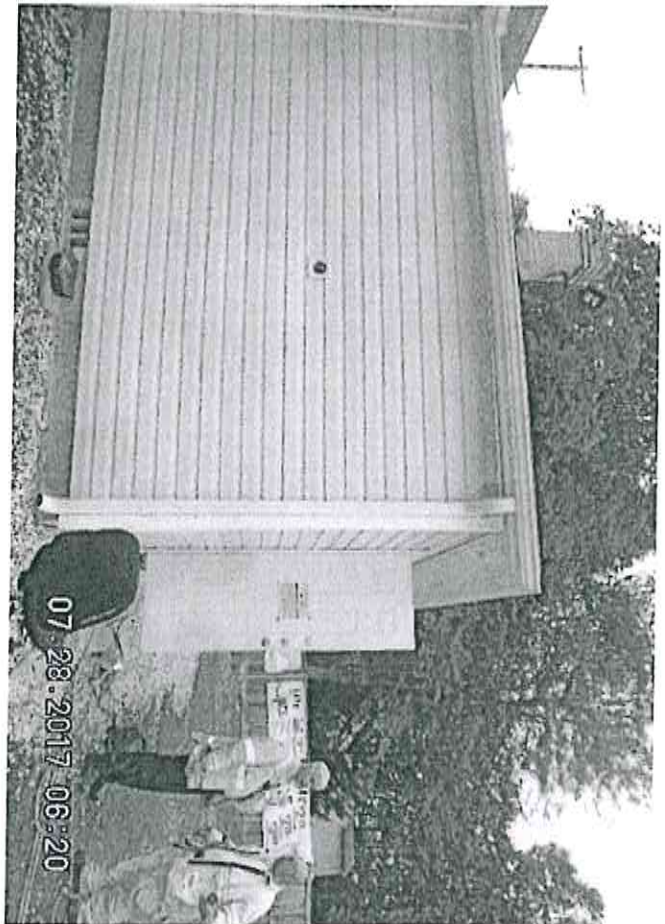
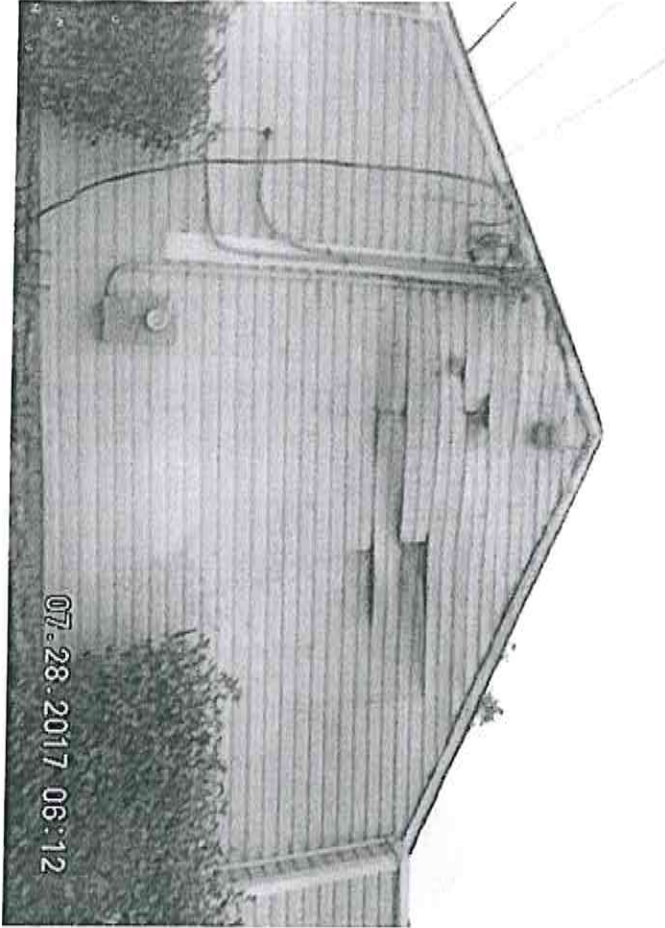
11. **Additional Comments:**

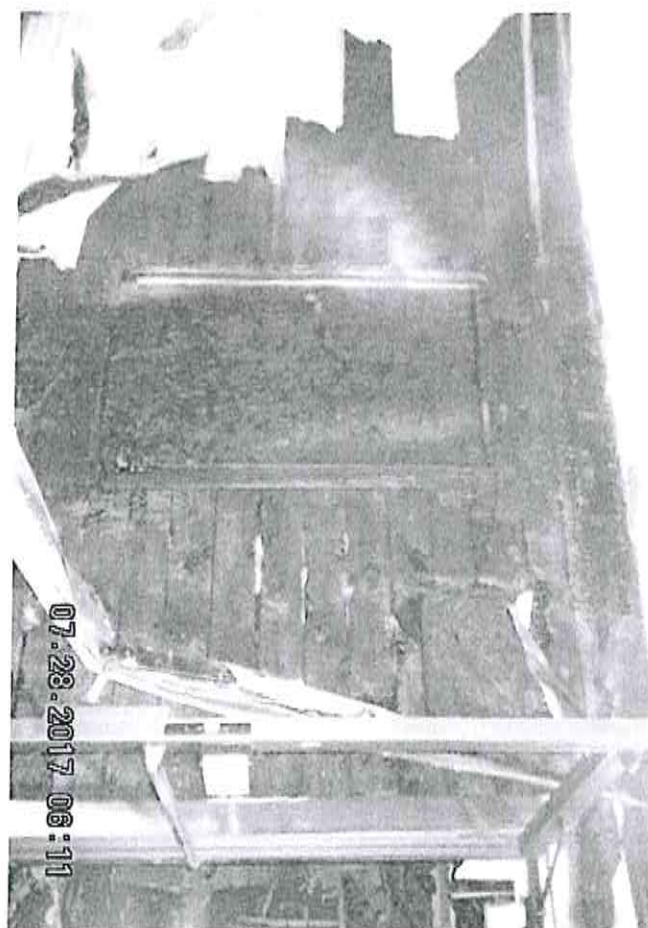
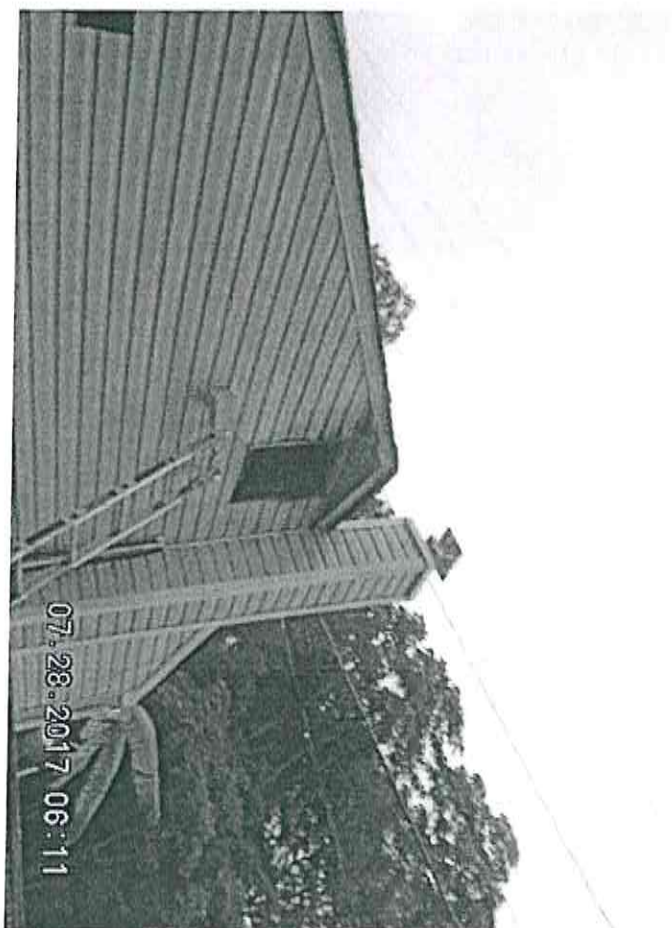
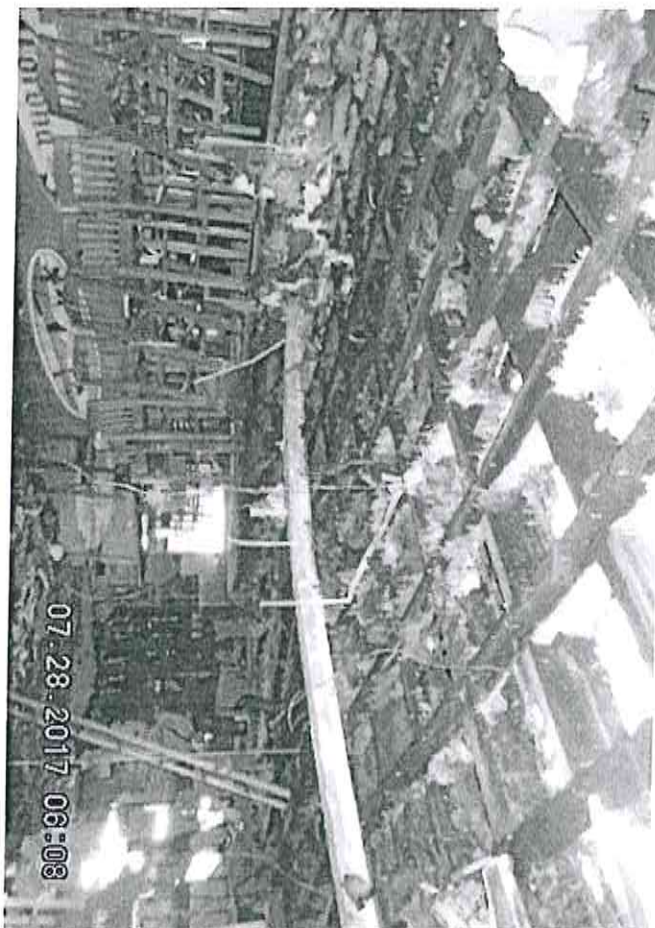
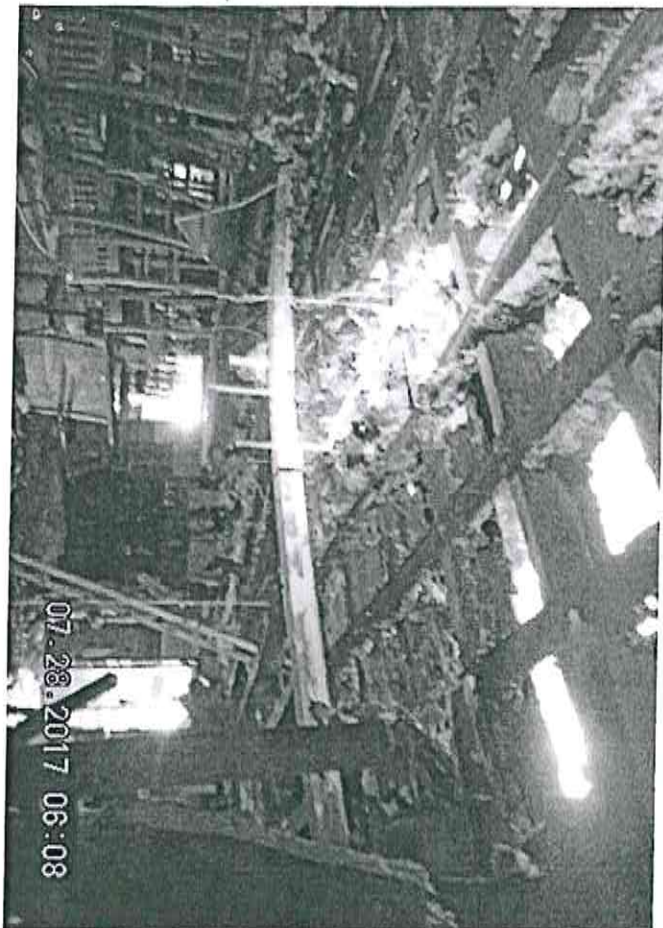
Demo + Rebuild needed

Inspector

insp/letters damage Revised 01-05-2004

7/28/17







2664 Riva Road
Annapolis MD 21401
www.aacounty.org/ip
Phone: (410) 222-7790

Daniel L. Kane, Director

NOTICE OF UNSAFE STRUCTURE

August 30, 2017

Ralph G Jackson
Patricia A Jackson
9131 Ft Smallwood Rd.
Pasadena MD 21122

RE: Unsafe Structure – 9131 Ft Smallwood Rd.
Tax Account # 3000-9001-8604

Dear Mr. and Mrs. Jackson:

Pursuant to an investigation conducted by this department the structure located at the above referenced address was found to be unsafe and open to casual entry. Therefore, in accordance with Section 115.1 and 115.8 of the 2015 Anne Arundel County Construction Code, you are hereby ordered to raze and secure this structure on or before **October 2, 2017**. Building Permits will be required to raze this structure. All remaining debris shall be removed to an approved facility.

You are required pursuant to the Anne Arundel County Building Code Section 104.3 to immediately contact me to indicate your acceptance or rejection of this order. Your response must be in writing and be received within ten working days of receipt of this letter.

Any action taken by Anne Arundel County to make the structure safe or to demolish the unsafe structure shall constitute a lien on the land improvements and such lien may be enforced by sale of the property in accordance with the provisions of the Tax-Property Article, Annotated Code of Maryland. Your cooperation is appreciated. If you should have any questions, please contact me at 410-222-7737.

Respectfully,

A handwritten signature in black ink, appearing to read "William R. Bryant".

William R. Bryant, MCO
Assistant Director, Inspections and Permits

WRB/CLB B-2017-0529



2664 Riva Road
Annapolis MD 21401
www.aacounty.org/ip
Phone: (410) 222-7790

Daniel L. Kane, Director

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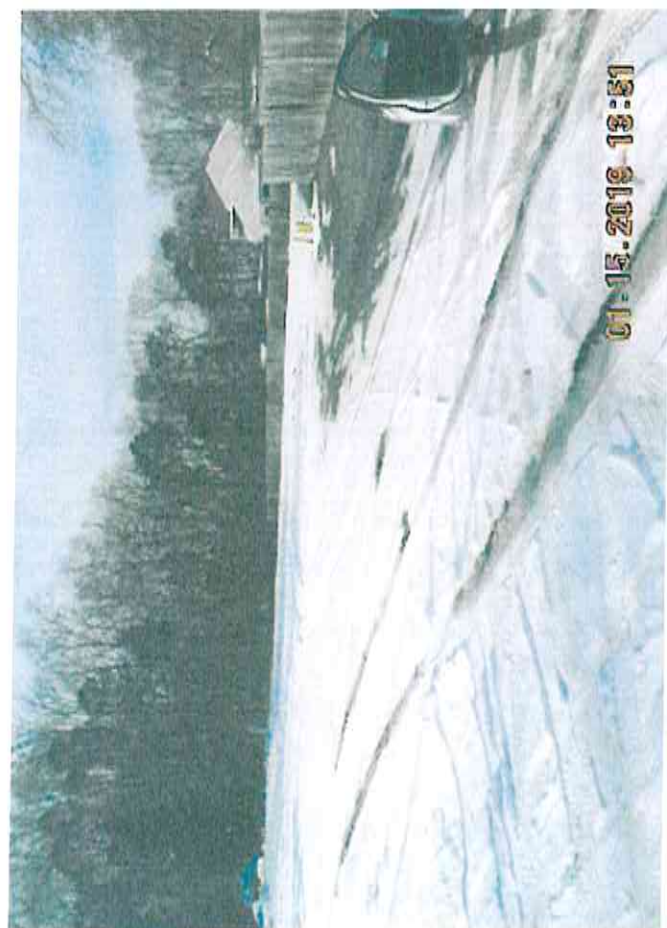
WRB/CLB B-2017-0529

209

Complaint Case # B-2017-529

Case Information	Assignment Information	Case Details	Events	Attachments	Related Information
Event Type	REINSPECTION				NEW EVENT
Date	01/14/2019 02:00 PM		Fine	\$ 0	
Due Date	01/21/2019 02:00	UPDATE TICKLER DATE	Amount Paid	\$	
Req Trial Date	01/14/2019 02:00 PM		Fine Due Date	01/14/2019 02:00 PM	
			Fine Paid Date		
Details	HAS STRUCTURE BEEN REMOVED. PLEASE OBTAIN NEW PICTURES				

Demo permit issued on 9/26/17
Demo completed & permit Anulled
January 17, 2019



```

IPD131C/MS3A          DISPLAY PERMIT INFORMATION      BUILDING PERM  OFFICE A
                      =====                     NBR B02348985  INIT LED1253
=====PROPERTY=====                     NXT B02348986
9131 FT SMALLWOOD RD          =====CONTRACTOR/LICENSEE=====
PASADENA MD 21122              OWNER
TAX ACCT NBR 3000 - 9001 - 8604  XXXXXXXXXXXXXXXXXXXXX
SUBDIV: ROCK CREEK             XXXXXXXX, XX 11111
TAX MAP 18      ACREAGE      2.000  PHONE      -      LIC # CTR - 003157
BLOCK(ST) 01      LOT
PARCEL 0008      SECTION
DEED 06560-718  BLOCK
PR DESC:      2 ACRES
=====
ADC      -      TENANTS COCONUT CHARLIE'S
LOCATION 9129 FT SMALLWOOD RD
TYPE OF IMPROVEMENT: DEM      TYPE OF USE: RES
PROPOSED USE.....: DEMOLISH TO FOUNDATION,RVSD 1/5/18(KM),
PROPSD WORK LINE1: ADD DEMOLITION OF FOUNDATION-RV 4/18/16*LD*
LINE2:
PERMIT DATES.....: APP: 09/08/17  ISS: 09/08/17  CMP: 01/18/19  EXP:
INT:      ACTIVE VIOLATION EXISTS
CURRENT STATUS....: C  REV IND:      RNW:      PROJECT #:
PF2=FWD  PF3=PROJ  PF4=INSP HIST  PF5=APPR  PF7=LIC  PF9=NEXT  PF12=EXIT

```

Need existing
if existing is the

US FINANCIAL CAPITAL INC.
8600 SNOWDEN RIVER PARKWAY
SUITE 207
TAX #03-000-19639000
DEED REF 18021/ 592
MAP 13 GRID 1 PARCEL 7

ARNOLD P. & CLAIR . BUNDY
9117 FORT SMALL
TAX #03-000-32000000
DEED REF 6122/ 106
MAP 18 GRID 1 PARCEL 109
LOT 2

EX.
CHERRY

EX.
DWELLING

EX.
DWELLING

" = 40'

DANIEL A. & SHERRY DAW

EX.
DUMPSTER
TO REMAIN

EX.
MAC/ GRAVEL
PARKING

88

92

EX. ASPHALT D/W TO REMAIN

EXISTING FENCE

96
98

WOOD ROAD

100

86

80

CLD
0001 0001 0001

PEB

RAI



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

Permit Number 608346891	Fee 75.00	# 8847	
Date 6-23-2017	Tax Acct # 3-000-9001-6604	Perc #	UA/PWA#
Site Address 9131 FT SMALLWOOD		Map	Block
City Pasadena		Parcel	Lot(s)
State MD		Zip 21122	
Subdivision			
Suite #	Tenant Name	Tenant Location	
Property Owner Information		Contractor's Information	
Company Name		Lic Type & #	Company Name
Name Jackson Ralph		Name	
Mailing Address 9131 FT SMALLWOOD Rd		Mailing Address	
City Pasadena		State MD	Zip 21122
Telephone		Telephone	
Email		Email	
Applicant Information		Engineer Information	
Company Name Permit Services, Inc.		Company Name	
Name Brenda Fraley Garver & Samantha Mullinix		Name	
Mailing Address 2011 Fraley Lane		Mailing Address	
City Pasadena		State MD	Zip 21122
Telephone office: 410-360-2228 fax: 410-360-6928		Telephone	
Email permitservicesinc@comcast.net & smmullinix1231@comcast.net		Email	
Architect Information		Permit Type-Check One	
Company Name		<input type="checkbox"/> New <input type="checkbox"/> Sprinklers	
Name		<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure- Indicate heights of:	
Mailing Address		<input type="checkbox"/> Alteration/Repairs	
City		Principal. _____ ft _____ in	
State		Accessory _____ ft _____ in	
Zip			
Telephone		<input type="checkbox"/> Sign	
Email		Is this permit application to resolve a violation?	
		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Describe Proposed Work: Remove & Replace H.C Ramp Access to make a place of Refuge / 8" or Below Grade Deck 16' x 18' w RAILS Around Entire Deck			

revised 8/7/14 jpr

Residential Building Permit Application Details									
Property Details					Construction Details				
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input checked="" type="checkbox"/>	Width	X	Length	Total Sq. Ft.	
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input checked="" type="checkbox"/>	Unfinished Basement	X			
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input type="checkbox"/>	Finished Basement	X			
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input checked="" type="checkbox"/>	1st Floor	X			
ADC Map			Mayo System	<input type="checkbox"/>	2nd Floor	X			
Zoning Classification	<u>R-</u>				3rd Floor	X			
Name of Waterway					Garage/Carport	X			
Building Characteristics					Porch	X			
Bldg Height:	Existing		Proposed		Deck	<u>16</u>	X	<u>18</u>	<u>280</u>
Number of Stories					Shed		X		
Number of Bedrooms					Other				
Number of Baths					Total Square Footage				
Smoke Detectors					Total Finished Area- per ANSI Z765-2003				
Carbon Monoxide Detectors					Cost of Work			\$ <u>2500.00</u>	
Fireplace					Grading Permit #			<u>1/2</u>	
Heating Fuel Type/AC					Proposed Work to include (check all that apply):				
					Sprinklers	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Plumbing	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
					Electric	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Heating/AC	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Commercial Building Permit Application Details									
Use Group					Heating Fuel				
Construction Type					Number of Stories				
Existing Use					Building Height: Existing		Proposed		
Proposed Use					Number of Fire Alarms				
Number of Elevators					Total Square Footage				
Number of Standpipes					Sprinklered Area Square Footage				
Smoke Detectors									
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>									
Signed: <u>Brenda F. Garver</u> Owner/Agent					Date: <u>6/22/2017</u>				
Print Name: <u>Brenda Fraley Garver</u>									

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

Anne Arundel County, Maryland

Cash Receipt

I&P 1253

07/10/2017

DEPT/BUSINESS UNIT NUMBER

DATE

DEPT/BUSINESS UNIT NAME

PERMIT APPLICATION CENTER

RECEIVED OF

COCONUT CHARLIES LLC

ISSUED BY

GLJ1253

DISTRIBUTION

PAID BY

(SEQUENCE/PERMIT NUMBER)

20567441/B02346891

 ACCOUNTING.....WHITE
 CASHIER.....YELLOW
 ISSUING DEPT.....PINK
 CUSTOMER.....GOLDENROD

VALIDATION

ANNE ARUNDEL COUNTY, MD RTVA

SC REVENUE

Date / Time : 07/10/17 14:39

Payment : \$ 75.00

Receipt # : 9936518

Check/Credit Card #: 8847

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
1253.5883		20567441/B02346891 DECK DECK		50.00
1253.5882		20567441/B02346891 DECK BLDG APP FEE		25.00

TOTAL

75.00

Anne Arundel County Permit Application Center

SITE REVIEW FIELD REPORT

DUE DATE 2017/07/24

APPLICATION DATE 2017/07/10

District 3
3000.9001.8604
Permit# B02346891

Address: 9131 FT SMALLWOOD RD

TaxMap 18 Block 01 Parcel0008 Lot Owner: JACKSON RALPH G

PROP DESC 2 ACRES Subd: ROCK CREEK

Proposed Work REMOVE EX. RAMP & RPL. WITH 16X18 DECK & (2) NEW
4X8 RAMPS

21122

STREET SURFACE WIDTH DRAINAGE CONTROLS

Comments on roads/drainage/traffic:

Waterfront ☒ Critical Area ☐ Nontidal Wetlands Yes No Possible **NO. OUSITE**
 Driveway Improvements ☐ Design Plate **SW/A**
 Sight Distance Right ☐ Left ☐ Obstructions ☐
 Inspectors Comments: **LOP=500p PER SLS**

Inspector **Shawn D. Jones**DATE **7/13/2017*******
Review Engineer Comments:SWM Required Yes ☒ No ☐ C.A. Designation

Area of Disturbance

Review Engineer

DATE

SW

GJ



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

DEPARTMENT OF INSPECTIONS & PERMITS STANDARD GRADING PLAN APPLICATION

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number 3-000-9001-6604 Building Permit # 802346891

Subdivision Name (if applicable) Rock Creek Lot _____ Block _____

Location 9131 FT Smallwood Rd Pasadena MD 21122
Number Street Post Office

Owner Jackson, Ralph
Name 9131 FT Smallwood Rd Pasadena MD
Address State Zip

Proposed Work Construct A HC Ramp + Decking
No more than 8" above grade For safe Access.

Critical Area Designation NA Distance from water to disturbed area NA ft.
Steepest slope disturbed 1 % Lot size 2 Acres Area to be disturbed 500 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature Shonda Garner Date 6-22-2017

Applicant's Name (Please Print) Permit Services Inc.
Company Name - If a Corporation

Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

- ☒ the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
- ☐ the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.

☐ Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector Shonda Jacob Date 7/13/2017
Sign and Print

SPECIAL CONDITIONS:



DECK CONSTRUCTION GUIDE

2015 International Residential Code **GRAD.**

BUILDING PERMIT #: **B02346891**

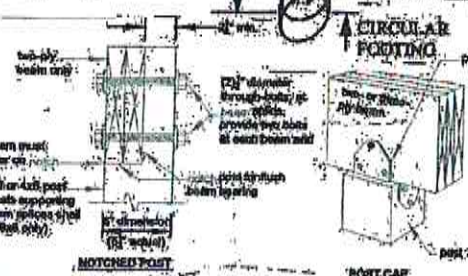
**DETACHED DECKS REQUIRE
MINIMUM 12" BELOW GRADE
FOOTING PER 403.1.4**

MINIMUM RAILING HEIGHT = 36" ABOVE
DECKING WHEN MORE THAN 30" ABOVE THE
GRADE. ATTACH RAILING POST TO DECK
WITH 3/8" LAG OR CARRIAGE BOLTS WITH
WASHERS.

Beam Size	Maximum Span
2x4	8'-0"
2x6	10'-0"
2x8	12'-0"
2x10	14'-0"
2x12	16'-0"

Post supporting 2 beams or less shall be 6x6 ONLY.

MINIMUM 30"
BELOW GRADE



POST-TO-BEAM CONNECTIONS

BEAM SIZE **2x8 @ 16" o/c** max. span

Beam Size	Maximum Span
2 (2x6)	6'-0"
2 (2x8)	8'-0"
2 (2x10)	10'-0"
2 (2x12)	12'-0"

NOTE: Beam floor joists at mid-span in excess of
8'-0" will require beam upgrade or intermediate
beams. Provide layout drawings to scale showing
footings & beam locations, Southern Pine #2 PT.

FLOOR JOIST **2x8 @ 16" o/c**

FLOOR JOIST CANTILEVER **12"**

Floor Joist Size	Floor Joist Spacing	Maximum Cantilever
2x6	12"	Not Allowed
2x8	12"	2 FT.
2x10	12"	3 FT.
2x12	12"	4 FT.

NOTE: Lumber species & grade = Southern Pine #2 PT.

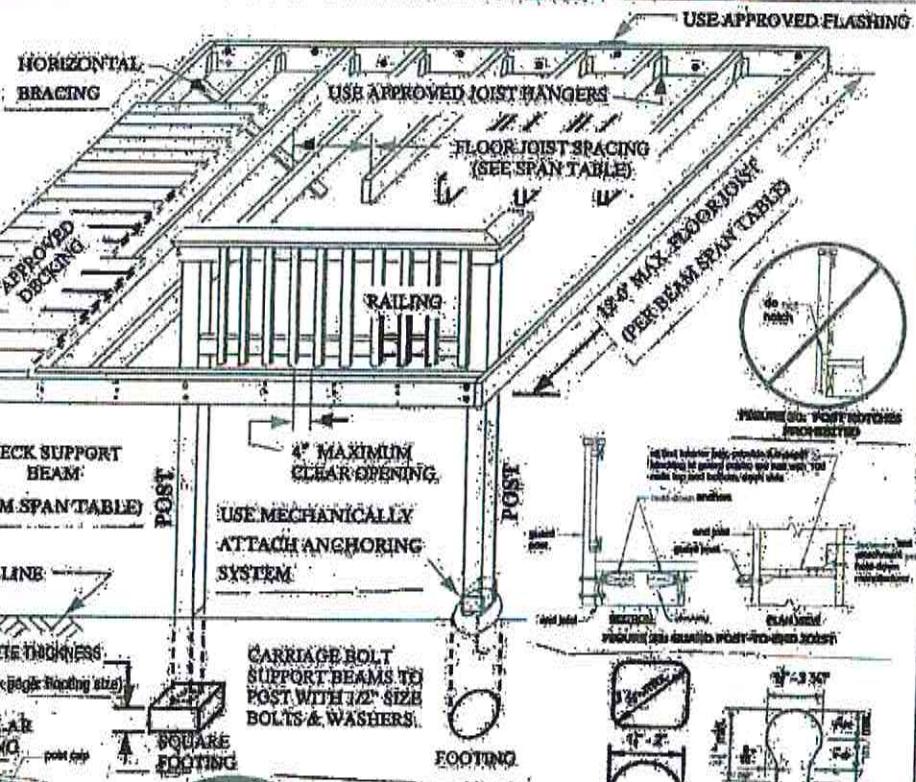


FIGURE 20: HANDRAIL GRASPABILITY

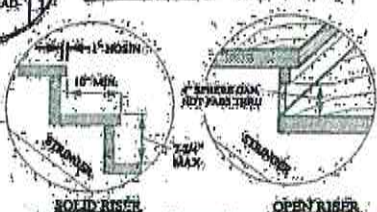


NOTES

1. All railing must rest on undisturbed soil.
2. Minimum footing size: 16" square or 16" round tube. (See back page Table 4: Footing Size)
3. DO NOT attach deck ledger to overhanging floor system OR a 2nd beam is required.
4. Corrosion-resistant fasteners required for all connections.
5. Decks are NOT APPROVED for future hot tubs.
6. Maintain 20-foot minimum separation from well.
7. DO NOT support framing loads on existing chimney.
8. Guardrails shall be designed & constructed for a concentrated load of 200 lbs. applied at any point along the top railing member.
9. Handrail portion of handrail shall not be more than 2" in cross section with smooth surface.
10. Basement door headroom clearance = 6'-8" (min).
11. Basement egress window path = 36" (min) clear height.

continued @ back page....

STAIRWAY DETAIL



Prohibited ledger attachments. The ledger board attachment conditions shown below are prohibited. In such cases, the deck shall be free-standing.



FIGURE 15: PROHIBITED LEDGER ATTACHMENTS

SECTION 12: LEDGER BOARD FASTENERS

General requirements. Ledger board fasteners shall be installed in accordance with this section. Placement and spacing shall be in accordance with FIGURE 16 and TABLE 5. Only those fastener types noted herein are approved for use; fasteners are prohibited. Adequacy of connections will be verified by county inspectors.

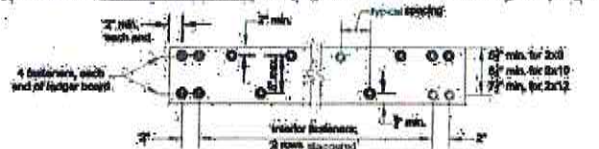


FIGURE 16: LEDGER BOARD FASTENER SPACING AND CLEARANCES

TABLE 5: LEDGER BOARD FASTENER SPACING, ON CENTER

Fastener	Fastener	Joist Span less than or equal to:	Joist Span less than or equal to:	Joist Span less than or equal to:	Joist Span less than or equal to:	Joist Span less than or equal to:	Joist Span less than or equal to:
		8'	12'	16'	20'	24'	28'
Log Screws	BWP	24"	18"	18"	18"	18"	18"
	2x lumber	30"	23"	18"	15"	13"	10"
Through Bolts	BWP	24"	18"	18"	18"	18"	18"
	2x lumber	30"	23"	18"	15"	13"	10"
Wood Screws	BWP	18"	13"	11"	9"	8"	6"
	2x lumber	19"	14"	11"	9"	8"	6"
Expansion Anchors		36"	26"	24"	20"	18"	15"
Adhesive Anchors		36"	26"	24"	20"	18"	15"

BWP = 1/2" minimum diameter approved wood product as per Page 6 for each fastener. Wood screws shall be permitted to be spaced in accordance with the accompanying fastener spacing table if they are installed in accordance with the above.

Through-bolts. Through-bolts shall have a minimum 1/2-inch diameter. Pilot holes for through-bolts shall be 1/16 to 1/8 inch in diameter. Through-bolts must be equipped with washers at the bolt head and nut. Bolts should be tightened at 12 inches after construction due to drying and wood shrinkage.

Expansion anchors. Expansion anchors shall be used only when attaching a ledger board to a concrete or solid masonry wall as shown in FIGURE 13. The bolt or threaded rod of expansion anchors shall have a 1/2-inch diameter minimum; in some cases, this may require a 3/4-inch anchor size. Expansion anchors must be installed per manufacturer's instructions and shall be equipped with washers.

Adhesive anchors. The adhesive anchors listed in TABLE 6 with a minimum 1/2-inch diameter threaded rod shall be used when attaching to hollow masonry as shown in FIGURE 14. Adhesive anchors are also permitted with concrete or solid masonry installations. Anchors shall be installed per manufacturer's instructions and shall be equipped with washers. Adhesive cartridges must be remain on the jobsite for inspector verification.

TABLE 6: APPROVED ADHESIVE ANCHORS

Manufacturer	Product
ITW Rotlo/Red Head	Express-Anchor 1
Hilti	HY-20

Log screws. Log screws shall be hot-dipped galvanized or stainless steel with a 1/2-inch minimum diameter. Length and shank requirements shall be in accordance with FIGURE 17. Log screws shall be equipped with washers and installed in the sequence below.

1. Drill a 1/4-inch diameter hole in the ledger board and a 1/4-inch diameter pilot hole into the solid connection material of the existing beam.
2. Insert the log screw through the ledger board and into the pilot hole by turning. Do not drive with a hammer. Use soap or a wood-compatible lubricant as required to facilitate tightening.
3. Tighten each log screw snugly, but do not over-tighten so as to cause wood damage.



FIGURE 17: LOG SCREW

Wood screws. The wood screws listed in TABLE 7 with a 1/4-inch diameter may be used to attach in wood-framed construction. Wood screws shall have a sufficient length to fully penetrate the existing house band board. Installation shall be in accordance with the manufacturer's instructions.

TABLE 7: APPROVED WOOD SCREWS

Manufacturer	Product
FastenMaster	LedgerLok
Simpson Strong-Tie	Strong-Bolt Screws (SBS, SWS)

FIGURE 18: FOOTINGS

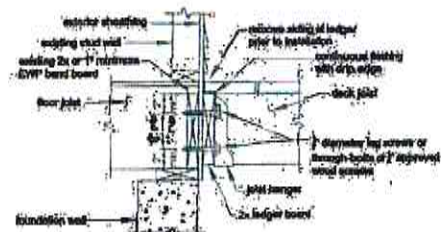


FIGURE 12: LEDGER BOARD-TO-BAND BOARD ATTACHMENT

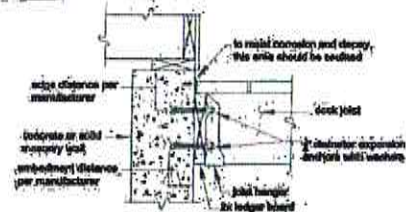


FIGURE 13: LEDGER BOARD-TO-SOLID FOUNDATION ATTACHMENT

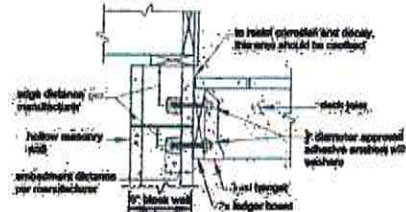


FIGURE 14: LEDGER BOARD-TO-HOLLOW FOUNDATION ATTACHMENT

SECTION 13: LATERAL SUPPORT

All decks greater than 30 inches above grade must resist lateral load using one of the applicable methods noted below.

Method 1) Tension-ties

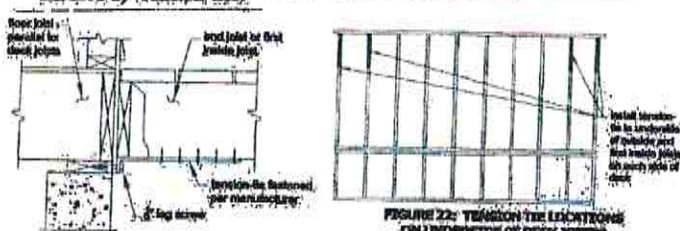


FIGURE 21: TENSION-TIE CONNECTION

Method 2) Diagonal bracing

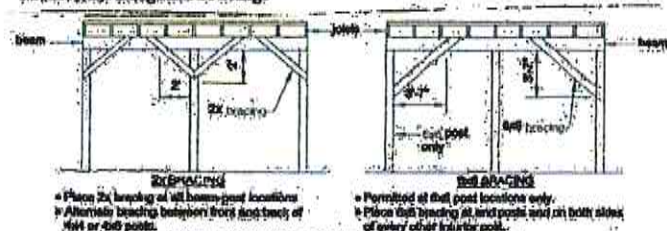


FIGURE 22: DIAGONAL BRACING AT BEAM/POST LOCATIONS

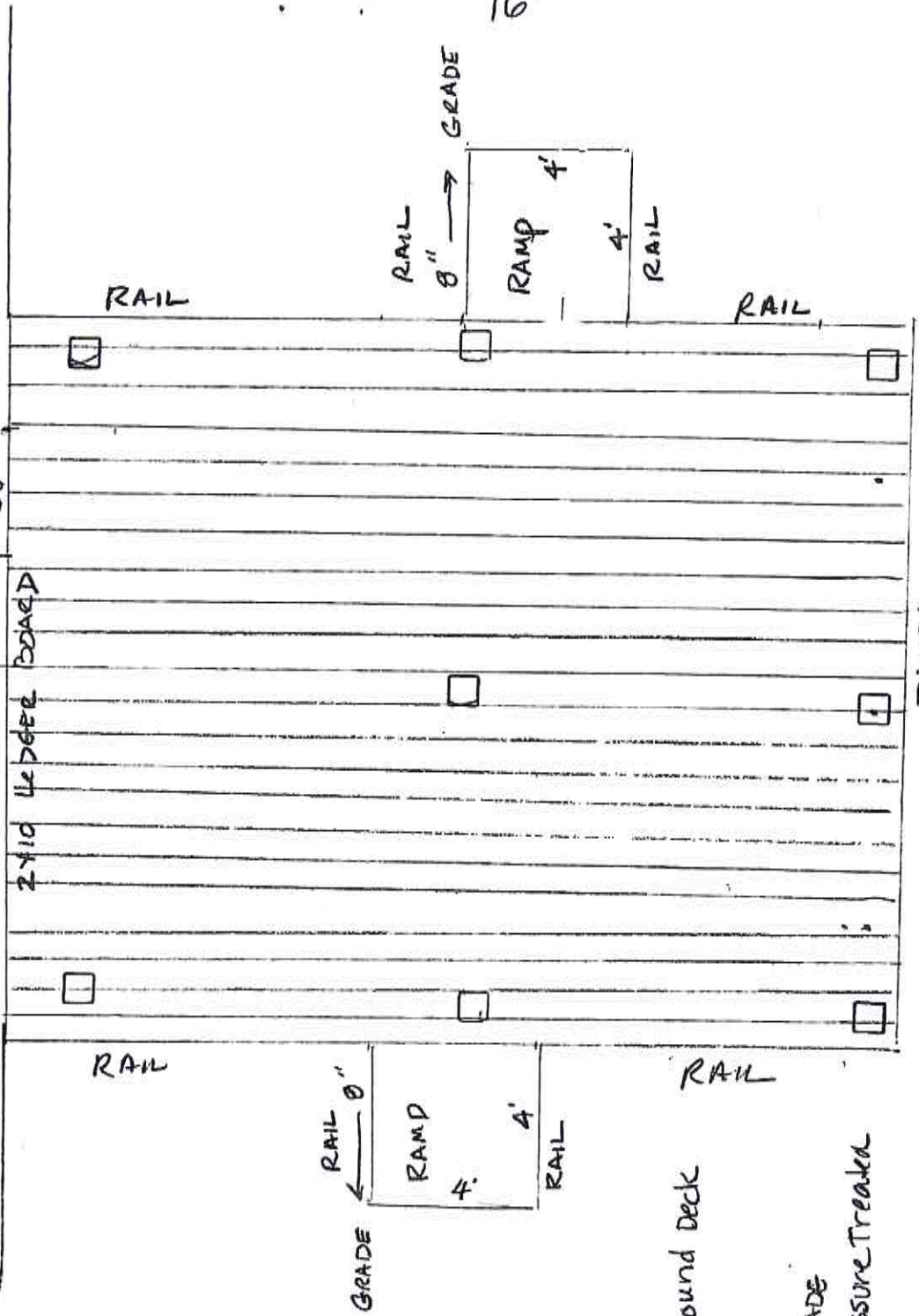
TABLE 4: FOOTING SIZE

Beam Span less than or equal to:	Joist Span less than or equal to:	Size of Square	Size of Round	Minimum Thickness
8'	10'	16"	18"	8"
	14'	16"	18"	8"
	18'	16"	18"	8"
12'	10'	16"	18"	8"
	14'	16"	18"	8"
	18'	20"	22"	10"
17'	10'	20"	22"	10"
	14'	20"	22"	10"

EXISTING BUILDING

EXISTING DOOR 36"

2x10 W/DECK BOARD



EXISTING FENCE
RAIL

,81

36" HIGH RAILS ALL AROUND DECK
6x6 POST ON
24"x24"x30 CONC.
FIG C 30" BEYOND GRADE
ALL WOOD TO BE PRESSURE TREATED

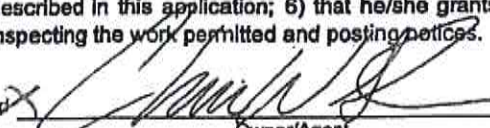


Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

REVISED
4/16/18

Permit Number 1502351762		Fee	
Date 1/11/2018	Tax Acct # 3000-9001-8604	Perc #	UA/PWA#
Site Address 9131 Fort Smallwood Road		Map 18	Block 0001
City PASADENA		Parcel 0008	Lot(s)
State MD		Zip 21122	Subdivision
Suite #	Tenant Name	Tenant Location	
Property Owner Information		Contractor's Information	
Company Name		Lic Type & #	Company Name
Name Ralph Jackson		Name	
Mailing Address 9131 Fort Smallwood Rd		Mailing Address	
City Pasadena	State MD	Zip 21122	
Telephone		Telephone	
Email		Email	
Applicant Information		Engineer Information	
Company Name Permit Services, Inc. # 805		Company Name	
Name Brenda Fraley Garver Samantha Mullinix		Name	
Mailing Address 2011 Fraley Lane		Mailing Address	
City Pasadena,	State Md	Zip 21122	
Telephone 410-360-2228 Cell 410-320-7368 Brenda		Telephone	
Email Permitservicesinc@comcast.net		Email	
Architect Information		Permit Type-Check One	
Company Name Dick Parrish Design		<input type="checkbox"/> New <input type="checkbox"/> Sprinklers	
Name Dick Parrish		<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure- Indicate heights of:	
Mailing Address 22 Carroll Rd		<input checked="" type="checkbox"/> Alteration/Repairs Principal _____ ft _____ in	
City Pasadena	State MD	Zip 21122	Accessory _____ ft _____ in
Telephone 443 223 7678		<input type="checkbox"/> Sign	
Email		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Describe Proposed Work: Revise Construct New Walls and Foundation Where Needed New Floor System Same Footprint (Shell only) Demo under 302348985			

Residential Building Permit Application Details									
Property Details					Construction Details				
Corner Lot	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	<input checked="" type="checkbox"/> X	Length	Total Sq. Ft.	
Waterfront	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Public Sewer	<input type="checkbox"/>	Unfinished Basement	<input checked="" type="checkbox"/> X			
Critical Area	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Finished Basement	<input checked="" type="checkbox"/> X			
Bog Area	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Septic	<input checked="" type="checkbox"/>	1st Floor	<input checked="" type="checkbox"/> X			
ADC Map			Mayo System	<input type="checkbox"/>	2nd Floor	<input checked="" type="checkbox"/> X			
Zoning Classification	<u>R- Non-Conforming</u>				3rd Floor	<input checked="" type="checkbox"/> X			
Name of Waterway					Garage/Carport	<input checked="" type="checkbox"/> X			
Building Characteristics					Deck	<input checked="" type="checkbox"/> X			
Bldg Height:	Existing			Proposed			Shed	<input checked="" type="checkbox"/> X	
Number of Stories					Other				
Number of Bedrooms					Total Square Footage				
Number of Baths					Total Finished Area- per ANSI Z765-2003				
Smoke Detectors					Cost of Work			\$ <u>20,000</u>	
Carbon Monoxide Detectors					Grading Permit #			<u>N/A</u>	
Fireplace					Proposed Work to include (check all that apply):				
Heating Fuel Type/AC					Sprinklers	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Plumbing	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
					Electric	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Heating/AC	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Commercial Building Permit Application Details									
Use Group	<u>A-2</u>				Heating Fuel				
Construction Type	<u>5-B</u>				Number of Stories				
Existing Use	<u>Bar</u>				Building Height: Existing			Proposed	
Proposed Use	<u>Bar</u>				Number of Fire Alarms				
Number of Elevators	<u>1</u>				Total Square Footage				
Number of Standpipes	<u>1</u>				Sprinklered Area Square Footage	<u>1,100</u>			
Smoke Detectors	<u>Yes</u>								
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>									
Signed					Date:	<u>10-30-17</u>			
					Owner/Agent				
Print Name:									

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

Permit Number 302351762		Fee 140.00	
Date 1/23/2018	Tax Acct # 3000 - 9001 - 8604	Perc #	UA/PWA#
Site Address 9131 Fort Smallwood Road		Map 18	Block 0001
City Pasadena		Parcel 0008	Lot(s)
State MD	Zip 21122	Subdivision	
Suite #	Tenant Name	Tenant Location	
Property Owner Information		Contractor's Information	
Company Name		Lic Type & #	Company Name
Name Ralph Jackson		Name	
Mailing Address 9131 Ft Smallwood Rd.		Mailing Address	
City Pasadena	State MD	Zip 21122	City
Telephone	Telephone		
Email	Email		
Applicant Information		Engineer Information	
Company Name Permit Services, Inc. # 805		Company Name	
Name Brenda Fraley Garver Samantha Mullinx		Name	
Mailing Address 2011 Fraley Lane		Mailing Address	
City Pasadena,	State Md	Zip 21122	City
Telephone 410-360-2228 Cell 410-320-7368 Brenda	Telephone		
Email Permitservicesinc@comcast.net	Email		
Architect Information		Permit Type-Check One	
Company Name Dick Parrish Design		<input type="checkbox"/> New <input type="checkbox"/> Sprinklers	
Name Dick Parrish		<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure- indicate heights of:	
Mailing Address 22 Carroll Rd		<input checked="" type="checkbox"/> Alteration/Repairs	
City Pasadena	State MD	Zip 21122	Principal _____ ft _____ in
Telephone 443 223 7678	Accessory _____ ft _____ in		
Email	Is this permit application to resolve a violation?		
	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Describe Proposed Work: Revise; Rebuild from Fire damage (Shell only) per Engineer; new walls, truss roof, deck, foundation where needed, same footprint, new floor system. (DEMO Permit under 302358985)			

revised 8/7/14 jpr

22

Residential Building Permit Application Details

Property Details				Construction Details							
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	<input checked="" type="checkbox"/> X	Length	Total Sq. Ft.			
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input type="checkbox"/>	Unfinished Basement	<input checked="" type="checkbox"/> X					
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Finished Basement	<input checked="" type="checkbox"/> X					
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input type="checkbox"/>	1st Floor	<input checked="" type="checkbox"/> X					
ADC Map			Mayo System	<input type="checkbox"/>	2nd Floor	<input checked="" type="checkbox"/> X					
Zoning Classification					3rd Floor	<input checked="" type="checkbox"/> X					
Name of Waterway					Garage/Carport	<input checked="" type="checkbox"/> X					
Building Characteristics Bldg Height: Existing _____ Proposed _____ Number of Stories _____ Number of Bedrooms _____ Number of Baths _____ Smoke Detectors _____ Carbon Monoxide Detectors _____ Fireplace _____ Heating Fuel Type/AC _____					Porch	<input checked="" type="checkbox"/> X					
					Deck	<input checked="" type="checkbox"/> X					
					Shed	<input checked="" type="checkbox"/> X					
					Other						
					Total Square Footage						
					Total Finished Area- per ANSI Z765-2003						
					Cost of Work	\$ 80,000.00					
					Grading Permit #	N/A					
				Proposed Work to Include (check all that apply):							
					Sprinklers	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Plumbing	<input type="checkbox"/> Yes <input type="checkbox"/> No			
	Electric	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Heating/AC	<input type="checkbox"/> Yes <input type="checkbox"/> No							

Commercial Building Permit Application Details

Use Group	A-2 S-1	Heating Fuel	Electric
Construction Type	513	Number of Stories	1
Existing Use	BAR/TAVERN	Building Height: Existing	<input checked="" type="checkbox"/>
Proposed Use	same	Proposed	<input type="checkbox"/>
Number of Elevators	no	Number of Fire Alarms	yes
Number of Standpipes	no	Total Square Footage	3,500
Smoke Detectors	yes	Sprinklered Area Square Footage	NO

The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.

Signed



Owner/Agent

Date:

1/23/2018

Print Name:

Samantha Mullinix

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401


CK 4729

Permit Number	1502351762	Fee	\$140.00	+40							
Date	11-29-2017	Tax Acct #	3000-9001-8604	Per #	UA/PWA#						
Site Address	9131 Fort Smallwood			Map	18	Block	01	Parcel	008	Lot(s)	
City	Pasadena	State	MD	Zip	21122	Subdivision	Rock Creek				
Suite #	Tenant Name			Tenant Location							
Coconut Charlies											
Property Owner Information					Contractor's Information						
Company Name					Lic Type & #		Company Name				
Name					Name						
Mailing Address					Mailing Address						
City					City		State		Zip		
Pasadena MD 21122											
Telephone					Telephone						
Email					Email						
Applicant Information					Engineer Information						
Company Name					Company Name						
Name					Name						
Brenda Garver / Samantha Mullinix											
Mailing Address					Mailing Address						
2011 Fraley Lane											
City					City		State		Zip		
Pasadena MD 21122											
Telephone					Telephone						
410 360 2228 / 443 465 7832											
Email					Email						
permit-services-inc@comcast.net											
Architect Information					Permit Type-Check One						
Company Name					<input type="checkbox"/> New <input type="checkbox"/> Sprinklers						
Name					<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure						
Mailing Address					Indicate heights of:						
City					<input checked="" type="checkbox"/> Alteration/Repairs		Principal		ft in		
State					<input type="checkbox"/> Sign		Accessory		ft in		
Zip											
Telephone											
Email											
					Is this permit application to resolve a violation?						
					<input type="checkbox"/> Yes <input type="checkbox"/> No						
Describe Proposed Work:											
Replace Entire ROOF Damaged By											
Fire, Replace Non Structural Wall											
Level top plate as needed to											
accommodate new trusses											

revised 8/7/14 jpr

Residential Building Permit Application Details																																																																													
Property Details Corner Lot <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Waterfront <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Critical Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Bog Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ADC Map _____ Zoning Classification _____ Name of Waterway _____			Construction Details <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;"></th> <th style="width: 10%;">Width</th> <th style="width: 10%;">Length</th> <th style="width: 40%;">Total Sq. Ft.</th> </tr> </thead> <tbody> <tr><td>Unfinished Basement</td><td>X</td><td></td><td></td></tr> <tr><td>Finished Basement</td><td>X</td><td></td><td></td></tr> <tr><td>1st Floor</td><td>X</td><td></td><td></td></tr> <tr><td>2nd Floor</td><td>X</td><td></td><td></td></tr> <tr><td>3rd Floor</td><td>X</td><td></td><td></td></tr> <tr><td>Garage/Carport</td><td>X</td><td></td><td></td></tr> <tr><td>Porch</td><td>X</td><td></td><td></td></tr> <tr><td>Deck</td><td>X</td><td></td><td></td></tr> <tr><td>Shed</td><td>X</td><td></td><td></td></tr> <tr><td>Other</td><td></td><td></td><td></td></tr> <tr><td>Total Square Footage</td><td></td><td></td><td></td></tr> <tr><td>Total Finished Area- per ANSI Z765-2003</td><td></td><td></td><td></td></tr> <tr><td>Cost of Work</td><td></td><td></td><td>\$ 80,000.00</td></tr> <tr><td>Grading Permit #</td><td></td><td></td><td>N/A</td></tr> <tr><td colspan="4">Proposed Work to Include (check all that apply):</td></tr> <tr> <td>Sprinklers <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td>Plumbing <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td colspan="2"></td> </tr> <tr> <td>Electric <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Heating/AC <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td colspan="2"></td> </tr> </tbody> </table>				Width	Length	Total Sq. Ft.	Unfinished Basement	X			Finished Basement	X			1st Floor	X			2nd Floor	X			3rd Floor	X			Garage/Carport	X			Porch	X			Deck	X			Shed	X			Other				Total Square Footage				Total Finished Area- per ANSI Z765-2003				Cost of Work			\$ 80,000.00	Grading Permit #			N/A	Proposed Work to Include (check all that apply):				Sprinklers <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Plumbing <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			Electric <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Heating/AC <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Width	Length	Total Sq. Ft.																																																																										
Unfinished Basement	X																																																																												
Finished Basement	X																																																																												
1st Floor	X																																																																												
2nd Floor	X																																																																												
3rd Floor	X																																																																												
Garage/Carport	X																																																																												
Porch	X																																																																												
Deck	X																																																																												
Shed	X																																																																												
Other																																																																													
Total Square Footage																																																																													
Total Finished Area- per ANSI Z765-2003																																																																													
Cost of Work			\$ 80,000.00																																																																										
Grading Permit #			N/A																																																																										
Proposed Work to Include (check all that apply):																																																																													
Sprinklers <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Plumbing <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																																																																												
Electric <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Heating/AC <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																																																																												
Building Characteristics Bldg Height: Existing _____ Proposed _____ Number of Stories _____ Number of Bedrooms _____ Number of Baths _____ Smoke Detectors _____ Carbon Monoxide Detectors _____ Fireplace _____ Heating Fuel Type/AC _____			Commercial Building Permit Application Details Use Group <u>A-2 S-1</u> Construction Type <u>SB</u> Existing Use <u>Bar/Tavern</u> Proposed Use <u>Same</u> Number of Elevators <u>NO</u> Number of Standpipes <u>NO</u> Smoke Detectors <u>YES</u> Heating Fuel <u>Electric</u> Number of Stories <u>1</u> Building Height: Existing _____ Proposed _____ Number of Fire Alarms <u>Yes</u> Total Square Footage <u>3,500</u> Sprinklered Area Square Footage <u>NO</u>																																																																										
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p> <p> Signed: <u>Brenda Haley Garver</u> Date: <u>1-10-2018</u> Owner/Agent Print Name: <u>Brenda Garver</u> </p>																																																																													

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

Incident	1748694-000	Anne Arundel County Fire 8501 Veterans HWY Millersville, MD 21108 (410)222-8200	
Date and Time	07/28/2017 03:06:02		
Station	10		
Shift	A		
Member Making	000683 - Michael Mattison		
Officer In Charge	000613 - Robert Brewer		

Dates And Times		Location Information	
Alarm Time	07/28/2017 03:06:02	Type: Street Address	Latitude Station 10
Arrival Time	07/28/2017 03:13:00	9129 FORT SMALLWOOD RD	Longitude District 1010
Controlled Time			Census Tract
Last Unit Cleared	07/28/2017 08:46:10	Pasadena MD 21122	Property Use 162 - Bar or nightclub

Alarms	2	Injuries and Fatalities	Property Loss \$200000	Value \$200000
Incident Type	111 - Building fire	Civilian Injury 0	Contents Loss \$0	Value \$0
Mutual Aid	N - None	Civilian Death 0	Response Time 6183666 6.0	Actions 11 - Extinguish
Detector Present	2 - None Present	Fire Fighter Injury 0	Units 55	# 2 51 - Ventilate
Hazmat Release		Fire Fighter Death 0	Persons 57	# 3 52 - Forcible entry

Area Of Origin	Other	Factor Contributing To Ignition	Undetermined
Heat Source	Undetermined	Fire Suppression Factor	
Item First Ignited	Undetermined	Human Factor	None
Material First Ignited	Undetermined		
Cause of Ignition	Cause under investigation		
Buildings Involved	1		
Residential Units			
Acres			

Structure Type	Enclosed building	Story Of Origin	1
Structure Status	In normal use	Floors Above Grade	1
Fire Spread	Confined to building of origin	Floors Below Grade	1
Item Contributing to Flame Spread		Floors Damaged	
Material Contributing to Flame Spread		Minor	
Length	60	Significant	
Width	40	Heavy	1
Area	2400	Extreme	

Unit	Dispatch	Enroute	Arrival	To Med	At Med	Cleared	In Service	In Quarters
E122	03:08:42	03:09:25	03:14:41			06:48:15		
TK13	03:08:42	03:10:02	03:16:56			06:49:27		
E201	03:08:26	03:11:14	03:17:11			06:48:06		
TK30	03:08:26	03:11:40	03:17:14			06:43:49		
TA40	03:08:26	03:12:45	03:34:48			06:34:54		
TA6	03:08:26	03:12:39	03:35:40			04:19:33		
E084	03:08:26	03:11:18	03:38:49			06:34:23		
E121	03:08:27	03:10:28	03:17:51			06:32:52		
E112	03:08:27	03:11:27	03:26:47			06:28:58		
TK33	03:08:27					03:09:21		
SQ43	03:08:27					03:09:32		
MU10	03:08:27	03:11:28	03:15:57			06:49:56		
BC02	03:08:28	03:09:40	03:23:32			06:58:21		
SAFE5	03:08:28	03:10:49	03:33:10			06:20:04		
E181	03:08:52	03:11:40	03:18:52			06:37:55		

Anne Arundel County, Maryland**Cash Receipt**

DEPT/BUSINESS UNIT NUMBER I&P 1253 DATE 12/01/2017

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF PERMIT SERVICES INC, 2011 FRALEY LANE, PA
SADENA, MD 21122

ISSUED BY LED1253 DISTRIBUTION

PAID BY 20576306/B02351762
(SEQUENCE/PERMIT NUMBER)

ACCOUNTING.....WHITE
CASHIER.....YELLOW
ISSUING DEPT.....PINK
CUSTOMER.....GOLDENROD

VALIDATION

ANNE ARUNDEL COUNTY, MD RIVA

DATE / Time : 12/01/17 10:48

Amount : \$ 140.00

Payment : 10520424

Receipt #

Check/Credit Card #: 4729

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
----------------	----------------------------	--------------------	----------------------	--------

1253.5883

20576306/B02351762
RESTAURANT
RESTAURANT

115.00

1253.5882

20576306/B02351762
RESTAURANT
BLDG APP FEE

25.00

TOTAL

140.00

Anne Arundel County, Maryland

Cash Receipt

DEPT/BUSINESS UNIT NUMBER I&P 1253

DATE 12/01/2017

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF PERMIT SERVICES

ISSUED BY LED1253

DISTRIBUTION

PAID BY 20576307/B02351762
(SEQUENCE/PERMIT NUMBER)ACCOUNTING.....WHITE
CASHIER.....YELLOW
ISSUING DEPT...PINK
CUSTOMER.....GOLDENROD

VALIDATION

RIVA

ANNE ARUNDEL COUNTY, MD

REC REVENUE

Date / Time

Payment

Receipt #

Check/Credit Card #

12/01/17 10:48

\$ 40.00

10520426

4729

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
----------------	----------------------------	--------------------	----------------------	--------

1253,5887

20576307/B02351762
RESTAURANT
INVESTIGATE FEE

40.00

TOTAL

40.00



Lorine Duszynski <lpdusz15@aacounty.org>

Fwd: Re: 9131 Fortsmallwood Road

1 message

permitservicesinc <permitservicesinc@comcast.net>
To: lpdusz15@aacounty.org

Fri, Dec 1, 2017 at 10:34 AM

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Tom Gruver <hdgruv01@aacounty.org>
Date: 10/30/17 11:57 AM (GMT-05:00)
To: Brenda Fraley Garver <permitservicesinc@comcast.net>
Subject: Re: 9131 Fortsmallwood Road

If seating is not changing I would not require any upgrades to the existing septic system. With regards to food handling issues, including things like equipment removal, sink locations and such you should contact Charlotte Lewis @ 410-222-7274 or hdlewis1@aacounty.org.

On Thu, Oct 26, 2017 at 12:22 PM, Brenda Fraley Garver <permitservicesinc@comcast.net> wrote:

Dear Tom,

There is a temporary tarp roof on this structure with the winter coming the owner fears more damage will occur. They have limited funds to rebuild and need to make sure they can move forward. I sent this to you on October 4th and have made several calls since then. I would appreciate the courtesy of a call or return email. Please and Thank you

From: "Brenda Fraley Garver" <permitservicesinc@comcast.net>
To: hdgruv01@aacounty.org
Sent: Wednesday, October 4, 2017 12:30:15 PM
Subject: 9131 Fortsmallwood Road

Dear Tom,

They are replacing any damaged walls, floor system in kind, the roof structure completely. Removing all the Kitchen Equipment. The bathroom fixture count will remain the same. 3-000-9001-8604 The Food Service number is #0020091055

Please let me know after you have time to evaluate this. As stated they don't have a lot of money to rebuild and need to find out the cost associated with all expenses.

Thank you for your time.

Brenda Fraley Garver

12/1/2017

Anne Arundel County Mail - Fwd: Re: 9131 Fortsmallwood Road

President

Permit Services, Inc.

2011 Fraley Lane

Pasadena, MD 21122



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

DEPARTMENT OF INSPECTIONS & PERMITS STANDARD GRADING PLAN APPLICATION

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number 3-000-9001 8604 Building Permit # B02351762

Subdivision Name (if applicable) Rock Creek Lot _____ Block _____

Location 9131 FT Smallwood ROAD 2122
Number Street Post Office

Owner Jackson, Ralph
Name Address Phone State Zip
9131 Fort Smallwood Rd Pasadena 2122

Proposed Work Replace damaged ROOF + Damaged
Exterior walls

Critical Area Designation N/A Distance from water to disturbed area N/A ft.

Steepest slope disturbed 2% Lot size 2 Acres Area to be disturbed 200 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature [Signature] Date 11-29-2017

Applicant's Name (Please Print) Permit Services, Inc
Company Name - If a Corporation

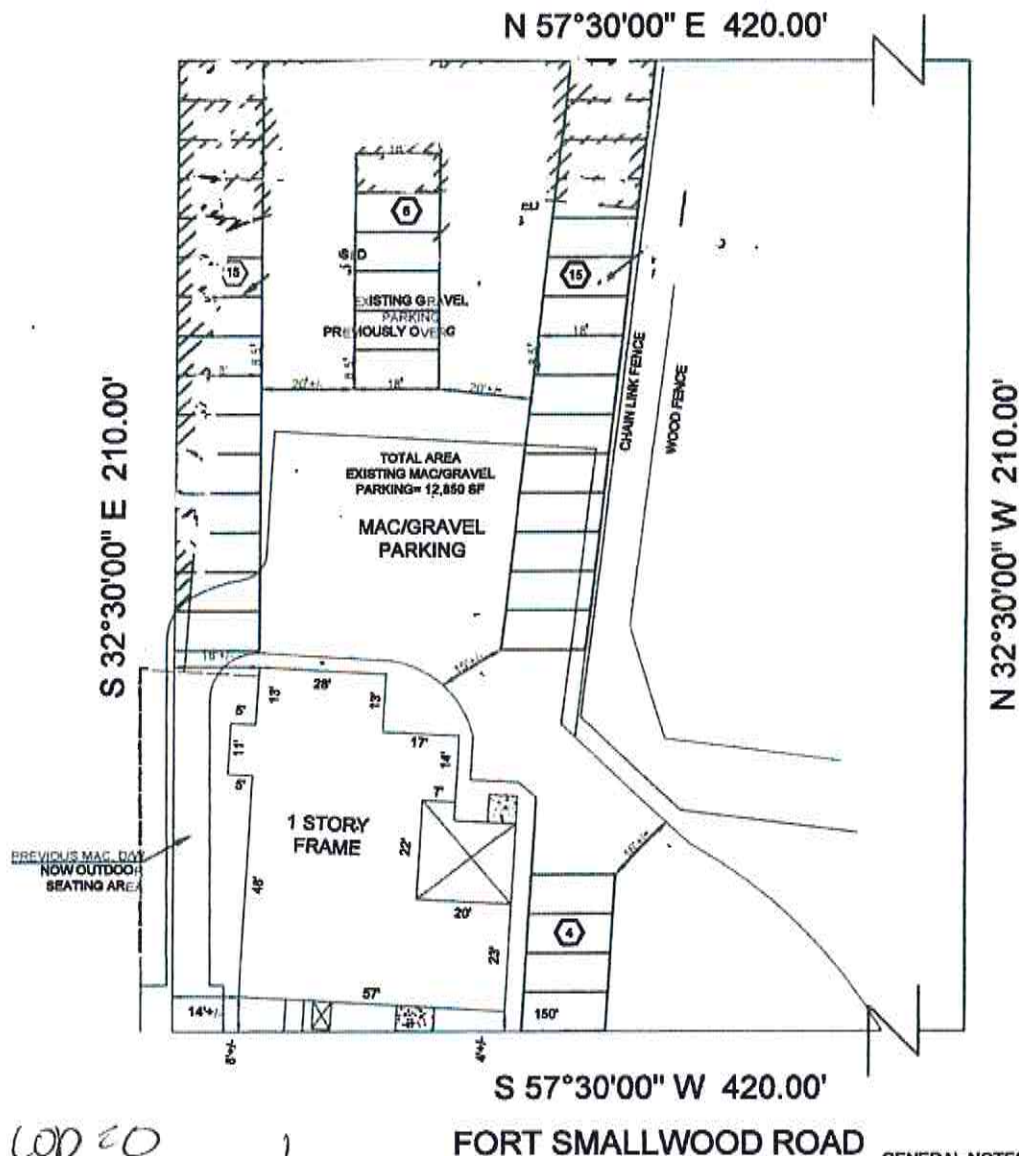
Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

- ☐ the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
- ☐ the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.

☐ Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector [Signature] Sign and Print Andrew Jacobs Date 12/5/2017

SPECIAL CONDITIONS:



LOP 20
ALL GRAVEL/PARKING

THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

 = CONCRETE

LOCATION DRAWING:

I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON, AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-

Walter T. Tydings
Professional Land Surveyor # 150

Date

FORT SMALLWOOD ROAD

1" = 40'

GENERAL NOTES

- 1). THIS PLAT IS OF BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OF A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH A CONTEMPLATED TRANSFER, FINANCING, OR RE-FINANCING.
- 2). THIS PLAT IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR ANY OTHER FUTURE IMPROVEMENTS.
- 3). THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THIS TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:
9131 FORT SMALLWOOD RD,
PASADENA, MD 21122

Date: 10/05/09 Job #: 9378

Property Description:

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFD RFF # 6560/718

Grading - B02351762

DICK PARRISH DESIGN

22 CARROLL ROAD

PASADENA, MD 21122

443-223-7678

Dickp2@verizon.net

January 9, 2018

Permit Application Center

Records Management Division

2664, Riva Road

Annapolis, MD 21401

Re: Coconut Charlies Bar/Restaurant B02351762

Respond to comments dated 12/12/2017

This permit is shell only and is to repair fire damage and structural deficiencies.

FIRE-BUILDING CODE- HARBERTS

Comments from letter dated 12-12-2017 are noted.

Signed and sealed truss drawings will be available on site.

A structural engineer has inspected the building and found several deficiencies. These plans reflect what is needed to correct those problems such as repairs to foundation and reconstruction of deck and exterior walls. New exterior walls will be 2x6 at 2' o.c. and 8' nominal height.

The structural engineer has signed and sealed foundation, walls and truss roof plans.

Sincerely,



Dick Parrish

```

IPD131C/MS3A          DISPLAY PERMIT INFORMATION      BUILDING PERM  OFFICE A
                      =====
=====PROPERTY=====
9131 FT SMALLWOOD RD      =====CONTRACTOR/LICENSEE=====
PASADENA MD 21122          OWNER
TAX ACCT NBR 3000 - 9001 - 8604  XXXXXXXXXXXXXXXXXXXX
SUBDIV: ROCK CREEK          XXXXXXXX, XX 11111
TAX MAP 18      ACREAGE      2.000  PHONE      -      LIC # CTR  - 003157
BLOCK(ST) 01      LOT
PARCEL 0008      SECTION
DEED 06560-718  BLOCK
PR DESC:      2 ACRES
=====
ADC      -      TENANTS COCONUT CHARLIES
LOCATION
TYPE OF IMPROVEMENT:  ALT      TYPE OF USE:      RES
PROPOSED USE.....:  RPL ENTIRE ROOF*FIRE DAMAGE*,RPL NON-STRUCTL WALL
PROPSD WORK LINE1:  LEVEL TOP PLATE TO ACCOMODATE NEW TRUSSES(INT ALTS
                    LINE2:  REQUIRE SEPARATE PERMIT) SEALED PLANS RV 1/16/18TT
PERMIT DATES.....:  APP: 12/01/17  ISS:      CMP:      EXP:
                    INT:      ACTIVE VIOLATION EXISTS
CURRENT STATUS...:  P  REV IND:      RNW:      PROJECT #:
PF2=FWD  PF3=PROJ  PF4=INSP HIST  PF5=APPR  PF7=LIC  PF9=NEXT  PF12=EXIT

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IPD131C/MS3A          DISPLAY PERMIT INFORMATION    BUILDING PERM  OFFICE A
                      =====                     NBR B02351762  INIT TLT1253
=====PROPERTY=====                     NXT B02351763
9131 FT SMALLWOOD RD          =====CONTRACTOR/LICENSEE=====
PASADENA MD 21122             OWNER
TAX ACCT NBR 3000 - 9001 - 8604  XXXXXXXXXXXXXXXXXXXX
SUBDIV: ROCK CREEK            XXXXXX, XX 11111
TAX MAP 18    ACREAGE    2.000  PHONE          -          LIC # CTR  - 003157
BLOCK(ST) 01    LOT
PARCEL 0008    SECTION
DEED 06560-718  BLOCK
PR DESC:      2 ACRES
=====
ADC      -          TENANTS COCONUT CHARLIES
LOCATION
TYPE OF IMPROVEMENT:  ALT          TYPE OF USE:    RES
PROPOSED USE.....:  RPL ENTIRE ROOF*FIRE DAMAGE*,RPL NON-STRUCTL WALL
PROPSD WORK LINE1:  LEVEL TOP PLATE TO ACCOMODATE NEW TRUSSES(INT ALTS
                    LINE2:  REQUIRE SEPARATE PERMIT) SEALED PLANS RV 1/16/18TT
PERMIT DATES.....:  APP: 12/01/17  ISS:              CMP:              EXP:
                    INT:              ACTIVE VIOLATION EXISTS
CURRENT STATUS....:  P  REV IND:    RNW:              PROJECT #:
PF2=FWD  PF3=PROJ  PF4=INSP HIST  PF5=APPR  PF7=LIC  PF9=NEXT  PF12=EXIT

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4-©          2    Sess-1    10.123.99.2          P144          3/57

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IPD13BC/MS3B DISPLAY BUILDING PERMIT INFORMATION

OFFICE A

=====

B02351762 INIT TLT1253

=====LOT CHARACTERISTICS=====

===BUILDING CHARACTERISTICS===

AREA	LEN	WIDTH	CORNER LOT	N
1	0	0	WATER FRONT LOT	N
2	0	0		

RESIDENTIAL PERMITS ONLY:

FINISHED AREA 0

GRADING PERMIT

UTILITY AGREE	PW AGREE	CRIT AREA
		N

EXISTING USE	RES
BUILDING HEIGHT (FT)	0
NUMBER OF STORIES	0
NUMBER OF ELEVATORS	0
NUMBER OF STANDPIPES	0
TYPE OF OWNERSHIP	PR
TYPE OF CONSTRUCTION	5B
SMOKE DETECTORS (Y/N)	
SEWAGE DISPOSAL TYPE	SEP
WATER SUPPLY TYPE	WELL
HEATING FUEL	
NBR OF FIRE ALARMS	0
TOTAL AREA SQ FT	0
SPRINK. AREA SQ FT	0
CONTRACT COST OF WORK \$	20000
COUNTY COST OF WORK \$	20000

PF1=BWD PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF12=EXIT

4-©	2	Sess-1	10.123.99.2	P144	1/1
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Page: 1 Document Name: Untitled

IPD133C PROJ		DISPLAY PERMIT(FEES)			B02351762	INIT TLT1253	OFF A
FEE TYPE		FEE DUE	FEE PAID	OUTSTANDING	TRANS DATE	RECEIPT	
01	RESTAURANT	\$ 115.00	\$ 115.00	\$.00	12/01/2017	10520424	
02	BLDG APP FEE	\$ 25.00	\$ 25.00	\$.00	12/01/2017	10520424	
03	TRANSPORT. IMP.	\$.00	\$.00	\$.00			
04	SCHOOL FEE IMP.	\$.00	\$.00	\$.00			
05	PBLC SFTY IMP	\$.00	\$.00	\$.00			
06	OFF-SITE DRAIN	\$.00	\$.00	\$.00			
07	WATER CAP CONN	\$.00	\$.00	\$.00			
08	SEWER CAP CONN	\$.00	\$.00	\$.00			
09	ODENTON TWN CTR	\$.00	\$.00	\$.00			
10	HEALTH PLAN REV	\$.00	\$.00	\$.00			
11	LNDSCP SECURITY	\$.00	\$.00	\$.00			
12	LNDSCP INSP FEE	\$.00	\$.00	\$.00			
13	MOD - OPZ	\$.00	\$.00	\$.00			
14	MOD - PC	\$.00	\$.00	\$.00			
15	CIVIL CITATION	\$.00	\$.00	\$.00			
16	COPY/RETRIEVE	\$ 57.50	\$ 57.50	\$.00	01/17/2018		
17		\$.00	\$.00	\$.00			
18		\$.00	\$.00	\$.00			
19		\$.00	\$.00	\$.00			
20	REINSPECTION	\$ 40.00	\$ 40.00	\$.00		10520426	
TOTAL FEES		\$ 237.50	\$ 237.50	\$.00			
F1=BWD F2=FEES F3=PROJ F4=INSP HIST F5=APPR F6=FEE HIST F7=LIC F12=EXIT							
4-©	2	Sess-1	10.123.99.2	P144		1/1	



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401REVISED
11/11/18

Permit Number 1502351762		Fee	
Date 1/11/2018	Tax Acct # 3000-9001-8604	Perc #	UA/PWA#
Site Address 9131 Fort Smallwood Road		Map 18	Block 0001
City PASADENA		Parcel 0008	Lot(s)
Suite #	Tenant Name	Subdivision	
Property Owner Information		Tenant Location	
Company Name		Lic Type & #	
Name Ralph Jackson		Company Name	
Mailing Address 9131 Fort Smallwood Rd		Mailing Address	
City Pasadena		State MD	
Zip 21122		Zip	
Telephone		Telephone	
Email		Email	
Applicant Information		Engineer Information	
Company Name Permit Services, Inc. # 805		Company Name	
Name Brenda Fraley Garver Samantha Mullinix		Name	
Mailing Address 2011 Fraley Lane		Mailing Address	
City Pasadena,		State Md	
Zip 21122		Zip	
Telephone 410-360-2228 Cell 410-320-7368 Brenda		Telephone	
Email Permitservicesinc@comcast.net		Email	
Architect Information		Permit Type-Check One	
Company Name DICK Parrish Design		<input type="checkbox"/> New	
Name DICK Parrish		<input type="checkbox"/> Addition	
Mailing Address 22 Carroll Rd.		<input checked="" type="checkbox"/> Alteration/Repairs	
City Pasadena		<input type="checkbox"/> Sign	
State MD		<input type="checkbox"/> Sprinklers	
Zip 21122		<input type="checkbox"/> Accessory Structure- Indicate heights of:	
Telephone 443 223 7678		Principal _____ ft _____ in	
Email		Accessory _____ ft _____ in	
Describe Proposed Work:		Is this permit application to resolve a violation?	
Revise Construct new walls and roof - same footprint +		<input type="checkbox"/> Yes	
Foundation Where needed New Floor System		<input checked="" type="checkbox"/> No	
Same Footprint + (Shell only)			
Demo under BOZ 348985			

revised 8/7/14 jpr

Residential Building Permit Application Details

Property Details				Construction Details		
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	X
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input type="checkbox"/>	Length	X
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Total Sq. Ft.	
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input type="checkbox"/>	Unfinished Basement	X
ADC Map			Mayo System	<input type="checkbox"/>	Finished Basement	X
Zoning Classification					1st Floor	X
Name of Waterway					2nd Floor	X
					3rd Floor	X
					Garage/Carport	X
					Porch	X
					Deck	X
					Shed	X
					Other	
					Total Square Footage	
					Total Finished Area- per ANSI Z765-2003	
					Cost of Work	\$ 80,000.00
					Grading Permit #	N/A
					Proposed Work to Include (check all that apply):	
					Sprinklers <input type="checkbox"/> Yes <input type="checkbox"/> No	Plumbing <input type="checkbox"/> Yes <input type="checkbox"/> No
					Electric <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Heating/AC <input type="checkbox"/> Yes <input type="checkbox"/> No

Commercial Building Permit Application Details

Use Group	A-2 S-1	Heating Fuel	Electric
Construction Type	5B	Number of Stories	1
Existing Use	Bar/Tavern	Building Height: Existing	
Proposed Use	Same	Proposed	
Number of Elevators	NO	Number of Fire Alarms	Yes
Number of Standpipes	NO	Total Square Footage	3,500
Smoke Detectors	Yes	Sprinklered Area Square Footage	NO

The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.

Signed

Owner/Agent

Date:

Print Name:

Brenda Garver

1-10-2018

divisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the applicant of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is the responsibility of the applicant to have the deed restrictions at the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

Page: 1 Document Name: Untitled

IPD180C/MSF8 PERMIT FEE CALCULATOR
 PERMIT TYPE B IMP TYPE SHL USE TYPE RES

=====FEE FACTORS=====

CONTRACT COST OF WORK \$ 80000
 TOTAL AREA SQ FT 3500
 SPRINKLERED AREA SQ FT 0
 ELECTRICAL SERVICE AMPS 0
 NBR OF FIRE ALARM STATIONS 0
 NUMBER OF STORIES 1
 NUMBER OF STANDPIPES 0
 NUMBER OF ELEVATORS 0
 SMOKE DETECTORS (YES/NO) N
 TYPE OF CONSTRUCTION 5B
 HEATING+MOTOR+OTHER (KW) .00
 NUMBER OF OUTLETS 0
 NUMBER OF FIXTURES 0
 PIPE SIZE 0
 DUCTED + NON-DUCTED ROOMS 0
 TOTAL APT UNITS 0

=====FEE AMOUNTS=====

01 PERMIT FEE \$ 1,605.52
 02 BLDG APP FEE \$ 25.00
 03 TRANSPORT. IMP. \$ 0.00
 04 SCHOOL FEE IMP. \$ 0.00
 05 PBLC SFTY IMP \$ 0.00
 06 OFF-SITE DRAIN \$ 0.00
 07 WATER CAP CONN \$ 0.00
 08 SEWER CAP CONN \$ 0.00
 09 ODENTON TWN CTR \$ 0.00
 10 HEALTH PLAN REV \$ 0.00
 11 ALLOC INTEREST \$ 0.00
 12 CA SWM FEE \$ 0.00
 13 CA SWM SECURITY \$ 0.00
 14 CA FEE-IN-LIEU \$ 0.00
 15 CA SECURITY \$ 0.00
 16 CA INSPECT FEE \$ 0.00
 17 FCA FEE-IN-LIEU \$ 0.00
 18 FCA SECURITY \$ 0.00
 19 FCA INSPECT FEE \$ 0.00

BOCA CALCULATION 234360

PF1=PAGE 1 PF2=PAGE 2 PF10=MORE PF12=EXIT

PAGE FEES \$ 1,630.52

TOTAL FEES \$ 1,630.52

4-©

2

Sess-1

10.123.99.2

P144

5/30



Tracie Reynolds <ipreyn26@aacounty.org>

Re: Request for Public Records

1 message

Tracie Reynolds <ipreyn26@aacounty.org>

Thu, Oct 22, 2020 at 1:38 PM

To: davidnmabreylaw@gmail.com

Dear Mr. Mabrey:

This email is in response to your request for records available, pursuant to the Maryland Public Information Act, Maryland State Government Code Annotated, §§ 4-100, et seq. (the "Act") regarding archived building permit file B02348985 for 9131 Ft. Smallwood Road, Pasadena.

I am in receipt of your check for \$57.50 to retrieve the file from archives, thank you. Your receipt is attached to this email and I will mail the hardcopy to you via the USPS.

Please be advised the records responsive to your request are attached.

Sincerely,

On Tue, Oct 13, 2020 at 9:18 AM Tracie Reynolds <ipreyn26@aacounty.org> wrote:

Dear Mr. Mabrey:

This email is in response to your request for records available, pursuant to the Maryland Public Information Act, Maryland State Government Code Annotated, §§ 4-100, et seq. (the "Act") regarding building permit and code compliance files for Coconut Charlies, 9131 Ft. Smallwood Road, Pasadena.

Please be advised that a search was conducted and the records responsive to your request are attached.

Building permit file B02348985 has been archived. There is a retrieval fee of \$57.50 per file charged by our record retention vendor which is payable in advance by check or cash only. If you agree to the fee please send a check in the amount of \$57.50 payable to Anne Arundel County to my attention at the address listed below. Once I receive your payment I will order the file.

Please be advised that we do not know what documents are in the file until we receive it from archives and cannot guarantee that the information you have requested is included. Also, please be advised that additional copy charges may apply if copies are requested.

Anne Arundel County, Maryland**Cash Receipt**

DEPT/BUSINESS UNIT NUMBER I&P 1253 DATE 10/22/2020

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF LAW OFFICES OF DAVID N. MABREY

ISSUED BY TXR1258 DISTRIBUTION

PAID BY 20637828/B02348985

(SEQUENCE/PERMIT NUMBER)

ACCOUNTING.....WHITE
CASHIER.....YELLOW
ISSUING DEPT.....PINK
CUSTOMER.....GOLDENROD

VALIDATION

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
----------------	----------------------------	--------------------	----------------------	--------

1253.6469

20637828/B02348985
DEMOLITION
COPY/RETRIEVE

57.50

TOTAL

57.50



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

PZ Grading

REVISED

4-16-18

B

Permit Number 1502348985		Fee	
Date 4-16-2018	Tax Acct # 3000-9001-8604	Perc #	UA/PWA#
Site Address 9131 Fort Smallwood Rd		Map 18	Block 01
City Pasadena		State MD	Zip 21122
Suite #	Tenant Name Coconut Charlie's	Tenant Location	
Property Owner Information		Contractor's Information	
Company Name		Lic Type & #	
Name Ralph Jackson		Company Name	
Mailing Address 9131 Ft Smallwood		Mailing Address	
City Pasadena		State	Zip
Telephone		Telephone	
Email		Email	
Applicant Information		Engineer Information	
Company Name Permit Services Inc		Company Name	
Name Brenda Fraley Garder		Name	
Mailing Address 2011 Fraley Lane		Mailing Address	
City Pasadena		State	Zip
Telephone 410360 2228		Telephone	
Email		Email	
Architect Information		Permit Type-Check One	
Company Name		<input type="checkbox"/> New <input type="checkbox"/> Sprinklers	
Name		<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure-	
Mailing Address		Indicate heights of:	
City		Principal _____ ft _____ in	
State		Accessory _____ ft _____ in	
Zip			
Telephone			
Email			
Is this permit application to resolve a violation?			
<input type="checkbox"/> Yes <input type="checkbox"/> No			
Describe Proposed Work: Revise Remove / Demo Foundation * clean up site Destroyed By Fire			

Residential Building Permit Application Details

Property Details				Construction Details					
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	<input checked="" type="checkbox"/> X	Length	Total Sq. Ft.	
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input type="checkbox"/>	Unfinished Basement	<input checked="" type="checkbox"/> X			
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Finished Basement	<input checked="" type="checkbox"/> X			
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input checked="" type="checkbox"/>	1st Floor	<input checked="" type="checkbox"/> X			
ADC Map			Mayo System	<input type="checkbox"/>	2nd Floor	<input checked="" type="checkbox"/> X			
Zoning Classification	<u>C-</u>				3rd Floor	<input checked="" type="checkbox"/> X			
Name of Waterway					Garage/Carport	<input checked="" type="checkbox"/> X			
Building Characteristics Bldg Height: Existing _____ Proposed _____ Number of Stories _____ Number of Bedrooms _____ Number of Baths _____ Smoke Detectors _____ Carbon Monoxide Detectors _____ Fireplace _____ Heating Fuel Type/AC _____					Porch	<input checked="" type="checkbox"/> X			
					Deck	<input checked="" type="checkbox"/> X			
					Shed	<input checked="" type="checkbox"/> X			
					Other				
					Total Square Footage				
					Total Finished Area- per ANSI Z765-2003				
					Cost of Work			\$15,000.00	
					Grading Permit #			N/A	
				Proposed Work to include (check all that apply):					
				Sprinklers	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Plumbing	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
				Electric	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Heating/AC	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Commercial Building Permit Application Details

Use Group	_____	Heating Fuel	_____
Construction Type	_____	Number of Stories	_____
Existing Use	_____	Building Height: Existing _____ Proposed _____	
Proposed Use	_____	Number of Fire Alarms	_____
Number of Elevators	_____	Total Square Footage	_____
Number of Standpipes	_____	Sprinklered Area Square Footage	_____
Smoke Detectors	_____		

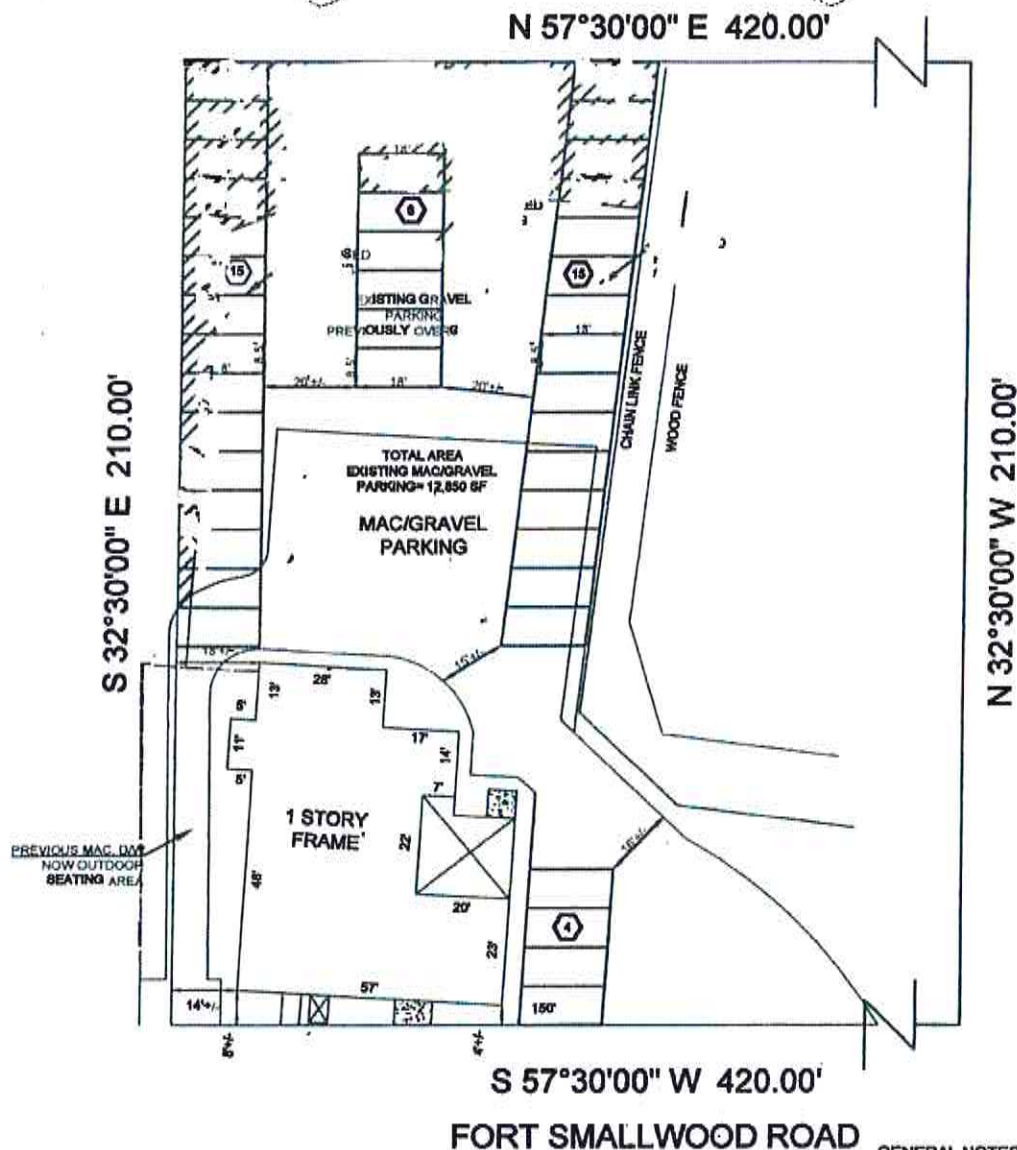
The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.

Signed [Signature]
Owner/Agent

Date: 04-16-18


Print Name: _____

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.



THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

 = CONCRETE

LOCATION DRAWING:

I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON. AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-

Walter T. Tydings
Professional Land Surveyor # 150

Date

GENERAL NOTES

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Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122

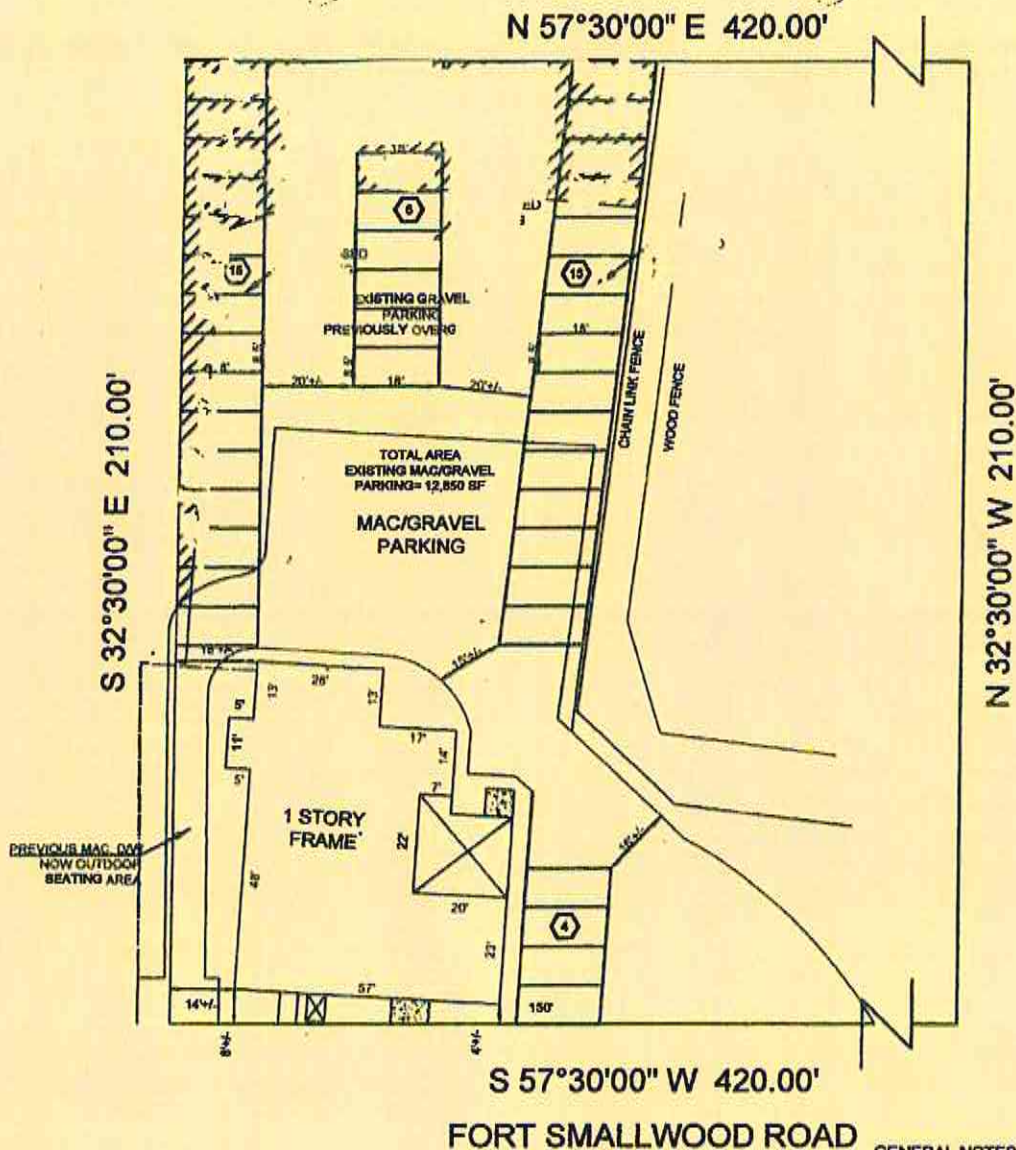
Date: 10/05/09 Job #: 9378

Property Description

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFD RFF # 6580/718

Insp-1302348985

REVISED
4-16-18
BY



OFFICE - 1302348985

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REVISED
4-16-18
"B"

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PHONE: 410-360-9464
FAX: 410-360-0247

Address:

9131 FORT SMALLWOOD RD.
PASADENA, MD 21122

Date: 10/05/09

Job #: 9376

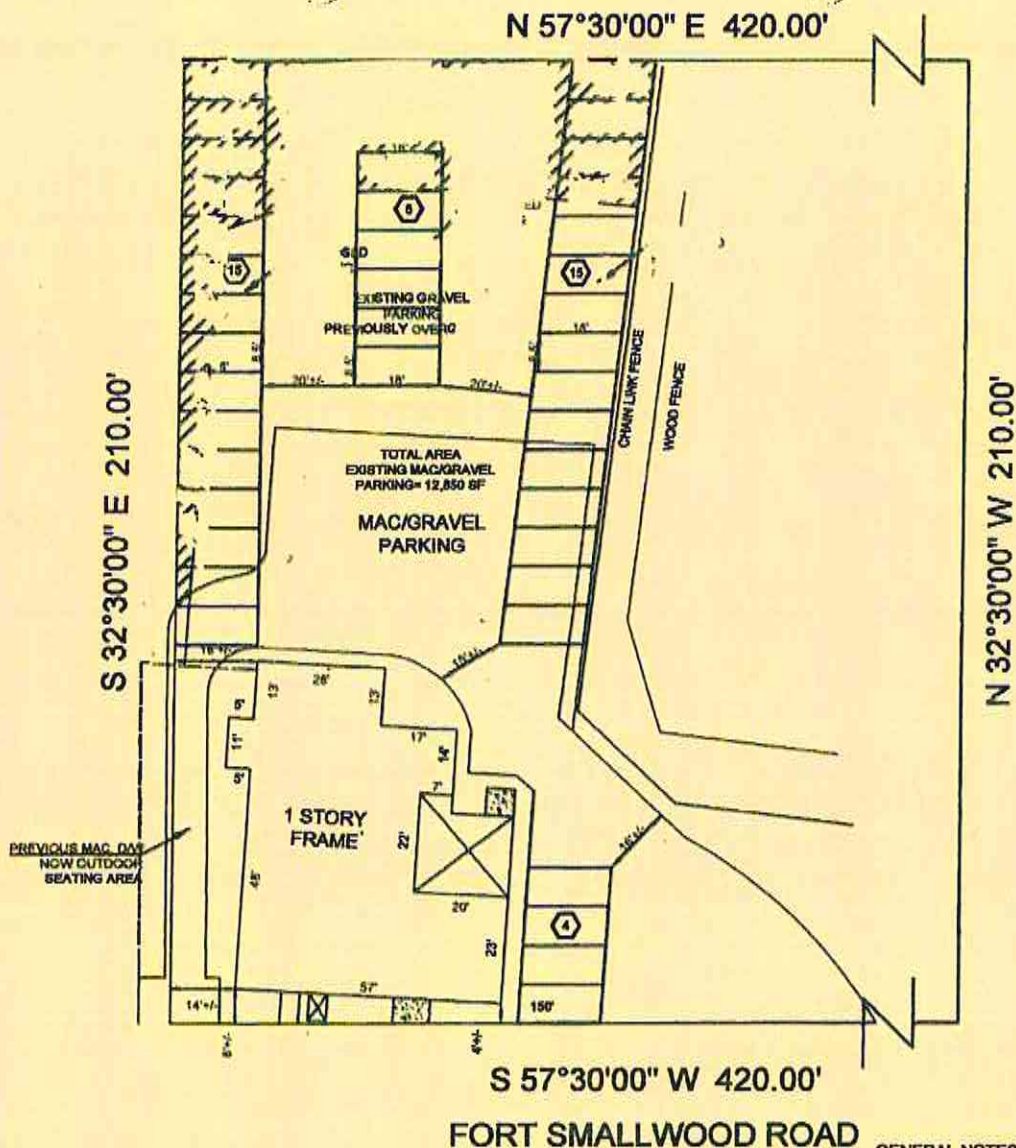
Property Description:

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFICIAL REF # 6560718

Walter T. Tydings

Professional Land Surveyor # 150

Date



FORT SMALLWOOD ROAD

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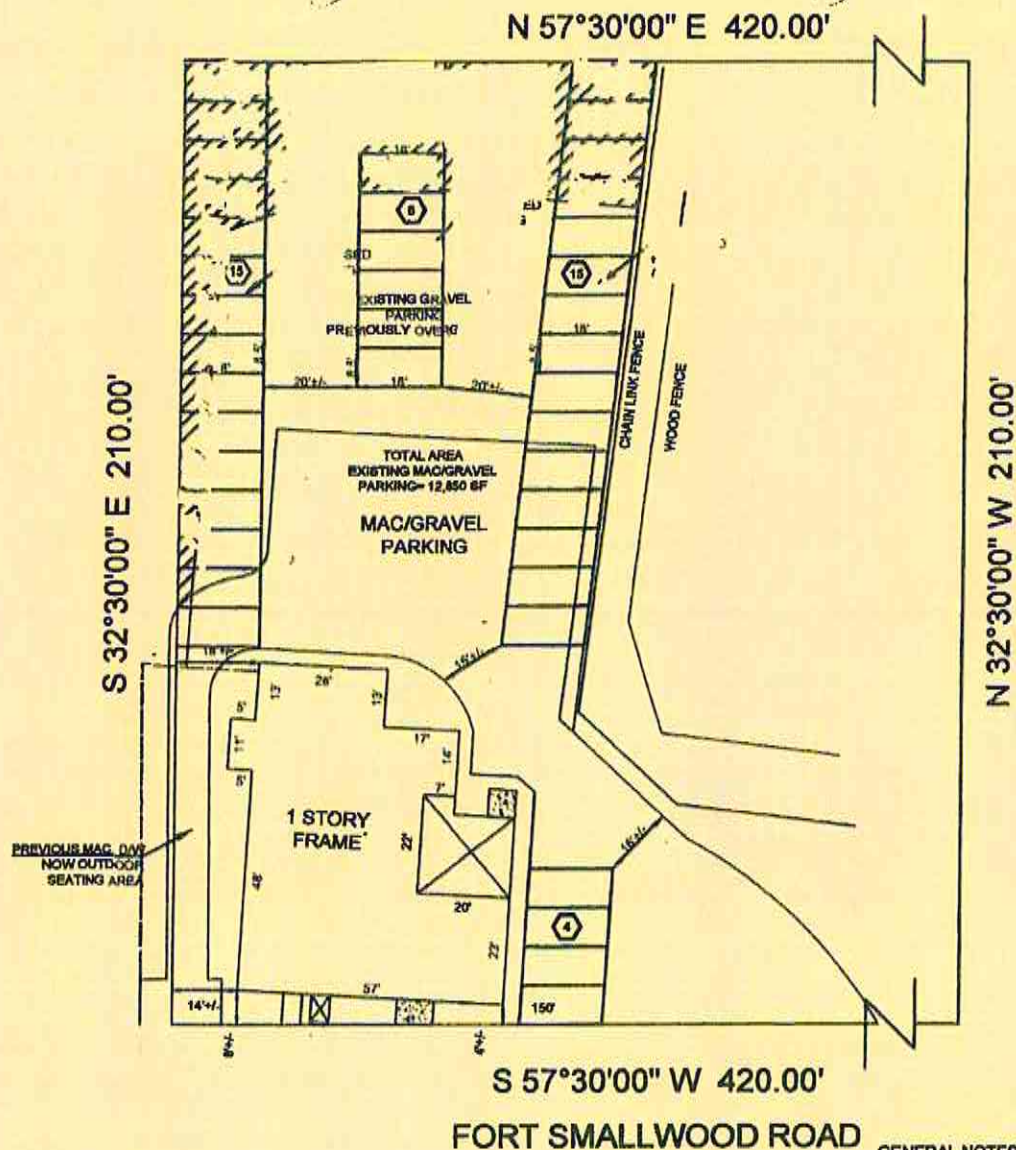
Date: 10/05/09 Job #: 9376

Property Description

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
DEED REF # 6560/718

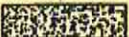
REVISED
4/16/18 B

B02348985



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Walter T. Tydings
Professional Land Surveyor # 150

Date

REVISED
4/16/18 B

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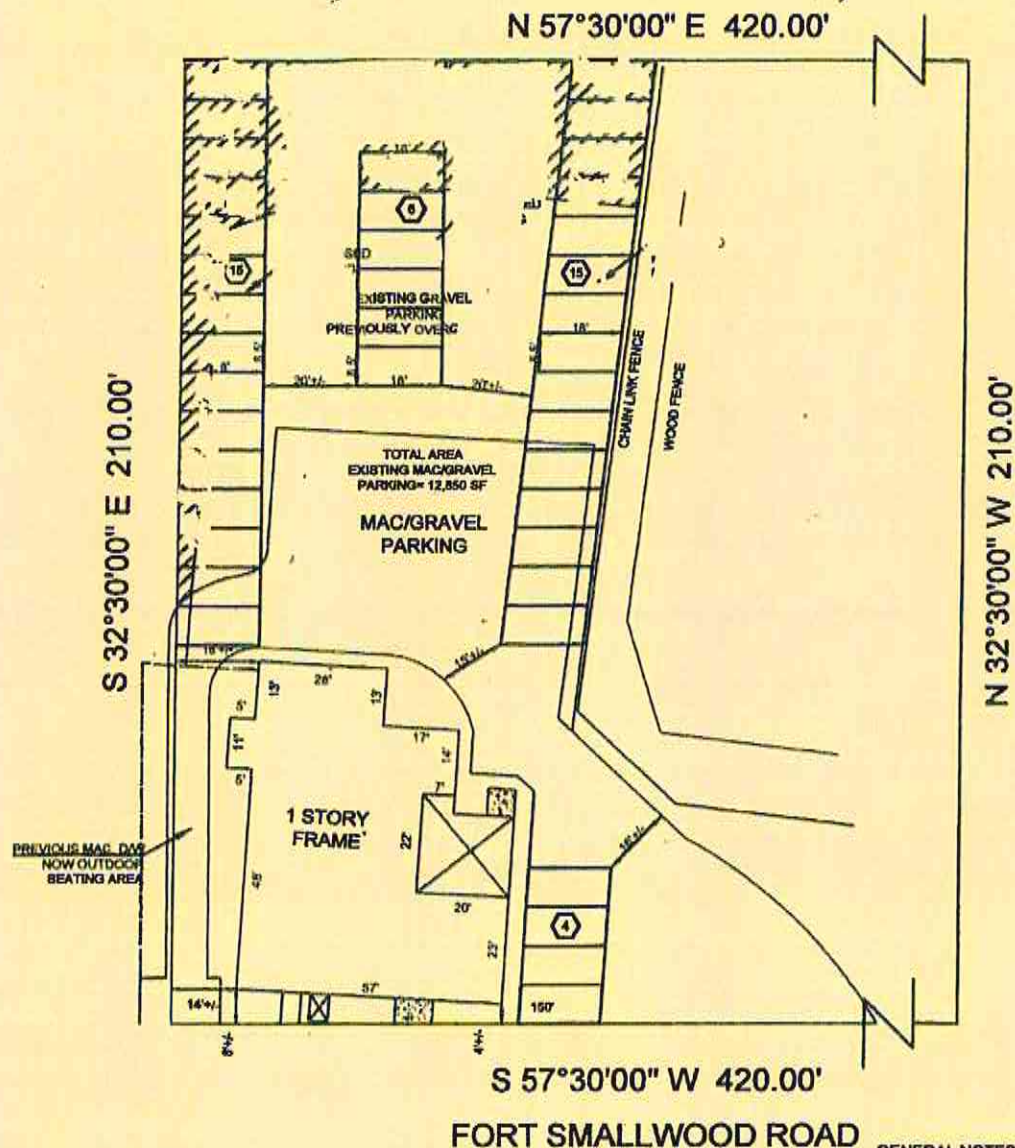
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Property Description

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFD RFF # 6560718


BD2358985



FORT SMALLWOOD ROAD

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REVISED

B, 4/16/18

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PHONE: 410-360-9464
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Address:

9131 FORT SMALLWOOD RD.
PASADENA, MD 21122

Date: 10/05/09

Job #: 9376

Property Description

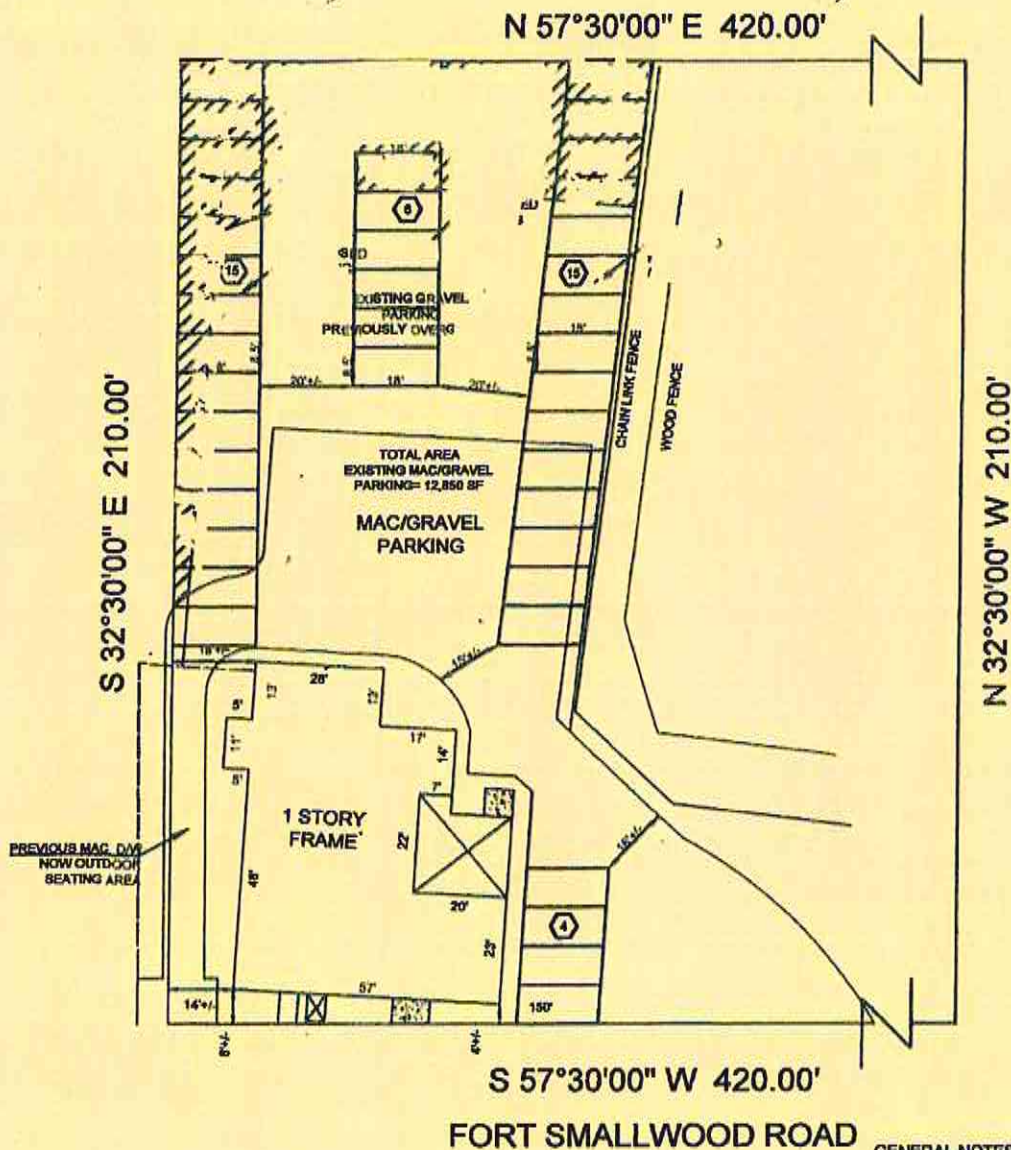
LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFD RFF # 6560/718

Walter T. Tydings

Drafter: Lisa Simpson # 150

Date


BD2348985



FORT SMALLWOOD ROAD

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Walter T. Tydings
Professional Land Surveyor # 150

Date

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Date: 10/05/09


Job #: 9376

Property Description:

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFICIAL REF # 8560/718

REVISED
4/16/18

B02348985

	BUILDING ADDRESS 9131 FT SMALLWOOD RD PASADENA MD 21122	===== CONTRACTOR ===== OWNER XXXXXXXXXXXXXXXXXXXX XXXXXXXX, XX 11111 PHONE: COUNTY LICENSE: CTR 003157 STATE LICENSE: LICENSEE: PHONE: =====OWNER===== JACKSON RALPH G 9131 FORT SMALLWOOD RD PASADENA MD 21122	Applic Date: 2017-09-08 Issue Date: 2017-09-08	B - 02348985 ADC	
	2664 Riva Road Annapolis, MD 21401	TAX ACCT NBR: 3000-9001-8604 SUBDIVISION: ROCK CREEK TAX MAP: 18 SQ. FT: 2.00 BLOCK(ST): 01 LOT: PARCEL: 0008 SECTION: DEED: 06560-718 BLOCK: PROP DESC: 2 ACRES	WORK: HOME:		
	BUILDING PERMIT	TENANT COCONUT CHARLIE'S APPLC			

IMPROVEMENT TYPE DEM LOC 9129 FT SMALLWOOD RD TYPE OF USE.... RESTAURANT/ASSEMBLY PROPOSED USE... DEMOLISH TO FOUNDATION PRSD WORK LINE1 LINE2 RVSD 1/5/18(KM)	=HURRICANE= TIDE ZONE ELEV FLOOD MAP
---	---


==BUILDING CHARACTERISTICS== BUILDING HEIGHT (FT) 0 NUMBER OF STORIES 0 ELEVATORS 0 NUMBER OF STANDPIPES 0 TYPE OF OWNERSHIP PR TYPE OF CONSTRUCTION 5B SMOKE DETECTORS (Y/N) Y SEWAGE DISPOSAL TYPE S WATER SUPPLY TYPE W HEATING FUEL NBR OF FIRE ALARMS 0 TOTAL AREA SQ. FT 0 SPRINK. AREA SQ. FT 0 CONTRACT COST OF WORK \$ 40000	====BUILDING DIMENSIONS==== <table style="width:100%;"> <tr> <th>AREA</th> <th>LEN</th> <th>WIDTH</th> </tr> <tr><td>UNFIN. BASEMENT</td><td>0</td><td>0</td></tr> <tr><td>FIN. BASEMENT</td><td>0</td><td>0</td></tr> <tr><td>1ST FLOOR</td><td>0</td><td>0</td></tr> <tr><td>2ND FLOOR</td><td>0</td><td>0</td></tr> <tr><td>GARAGE</td><td>0</td><td>0</td></tr> <tr><td>CARPORT</td><td>0</td><td>0</td></tr> <tr><td>PORCH</td><td>0</td><td>0</td></tr> <tr><td>DECK</td><td>0</td><td>0</td></tr> </table>	AREA	LEN	WIDTH	UNFIN. BASEMENT	0	0	FIN. BASEMENT	0	0	1ST FLOOR	0	0	2ND FLOOR	0	0	GARAGE	0	0	CARPORT	0	0	PORCH	0	0	DECK	0	0	GRAD PERM NBR BEDRMS 0 ====SETBACKS==== FRONT 0 0 REAR 0 0 SIDE (MIN) 0 0 SIDE (COMB) 0 SIDE ST 0 0 MAJ ARTERY 0
AREA	LEN	WIDTH																											
UNFIN. BASEMENT	0	0																											
FIN. BASEMENT	0	0																											
1ST FLOOR	0	0																											
2ND FLOOR	0	0																											
GARAGE	0	0																											
CARPORT	0	0																											
PORCH	0	0																											
DECK	0	0																											
	====AIRPORT==== ZONE NOISE FLIGHT PATTERN	===MAX HEIGHT=== STORIES 0.0 FEET 0																											
	=LOT CHARACTERISTICS= CORNER LOT N WATER FRONT LOT N	===PARKING=== OFF STR 0 HANDICAP 0																											

A PERMIT UNDER WHICH NO INSPECTION HAS BEEN REQUESTED WITHIN ONE YEAR AFTER ISSUANCE SHALL EXPIRE. A PERMIT UNDER WHICH WORK COMMENCES WITHIN ONE YEAR SHALL BE CONSIDERED VALID IF CONSTRUCTION IS CONTINUOUS AND AT LEAST 33% IS COMPLETED EACH CONSECUTIVE YEAR FROM DATE OF ISSUANCE. INSPECTIONS ARE REQUIRED FOR FOOTING TRENCHES, FOUNDATION (WATERPROOFING-DRAIN TILE-BACKFILL), FRAMING, INSULATION AND FINAL. TWENTY-FOUR HOUR NOTICE IS REQUIRED FOR ALL INSPECTION REQUESTS.

A CERTIFICATE OF OCCUPANCY IS REQUIRED TO BE ISSUED BY THE BUILDING OFFICIAL BEFORE THIS BUILDING MAY BE OCCUPIED. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL BUILDING, TRADE, HEALTH AND FIRE (IF REQUIRED) INSPECTIONS HAVE BEEN MADE AND APPROVED.

NOTE: SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED.

FTG _____	BFILL _____	INT-DTILE _____	EX-DTILE _____	SLAB _____
FRAME _____	INSUL _____	CEILING _____	STEEL _____	PIER _____
SPK RI _____	SPK FINAL _____	PROG _____	FINAL _____	FL CERT _____

 Director of Inspections and Permits	FEE: 270.00	PROJECT NUMBER: B - 02348985
	Applic Date: 2017-09-08 Issue Date: 2017-09-08	

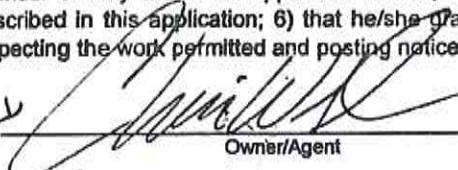


Building Permit Application



Permit Center
2664 Riva Road
Annapolis MD 21401

REVISED 11/5/18

Permit Number 1502348985	Fee 105		
Date 1-3-2018	Tax Acct # 3000-9001-8604	Perc #	UA/PWA#
Site Address 9131 FT Smallwood Rd	Map 18	Block 01	Parcel 0008
City Pasadena	State MD	Zip 21122	Subdivision Rock Creek
Suite #	Tenant Name	Tenant Location	
Property Owner Information		Contractor's Information	
Company Name	Lic Type & #	Company Name	
Name Ralph Jackson	Name		
Mailing Address 9131 FT Smallwood	Mailing Address		
City Pasadena	State MD	Zip 21122	City
Telephone	Telephone		
Email	Email		
Applicant Information		Engineer Information	
Company Name Permit Services, Inc	Company Name		
Name Brenda Fralcy Garver	Name		
Mailing Address 2011 Fralcy Lane	Mailing Address		
City Pasadena	State MD	Zip 21122	City
Telephone 410-360-2228	Telephone		
Email	Email		
Architect Information		Permit Type-Check One	
Company Name	<input type="checkbox"/> New <input type="checkbox"/> Sprinklers		
Name	<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure		
Mailing Address	Indicate heights of:		
City	<input checked="" type="checkbox"/> Alteration/Repairs	Principal	ft in
Telephone	<input type="checkbox"/> Sign	Accessory	ft in
Email	Is this permit application to resolve a violation?		
	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Describe Proposed Work: Revise to Demo Building to Remove Roof Walls & EX Wood Deck. Salvage Foundation as possible. New Foundation & Structure under separate permits			

Residential Building Permit Application Details			
Property Details		Construction Details	
Corner Lot	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Public Water	<input type="checkbox"/>
Waterfront	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Width	<input checked="" type="checkbox"/> Length
Critical Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Unfinished Basement	<input checked="" type="checkbox"/>
Bog Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Finished Basement	<input checked="" type="checkbox"/>
ADC Map		1st Floor	<input checked="" type="checkbox"/>
Septic	<input checked="" type="checkbox"/>	2nd Floor	<input checked="" type="checkbox"/>
Mayo System	<input type="checkbox"/>	3rd Floor	<input checked="" type="checkbox"/>
Zoning Classification	<u>NON-CONFORMING</u>		
Name of Waterway			
Building Characteristics		Construction Details	
Bldg Height:	Existing _____ Proposed _____	Garage/Carport	<input checked="" type="checkbox"/>
Number of Stories	_____	Porch	<input checked="" type="checkbox"/>
Number of Bedrooms	_____	Deck	<input checked="" type="checkbox"/>
Number of Baths	_____	Shed	<input checked="" type="checkbox"/>
Smoke Detectors	_____	Other	_____
Carbon Monoxide Detectors	_____	Total Square Footage	_____
Fireplace	_____	Total Finished Area- per ANSI Z765-2003	_____
Heating Fuel Type/AC	_____	Cost of Work	\$ <u>15,000.00</u>
		Grading Permit #	<u>N/A</u>
		Proposed Work to Include (check all that apply):	
		Sprinklers <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Plumbing <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
		Electric <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Heating/AC <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Commercial Building Permit Application Details			
Use Group	_____		
Construction Type	_____		
Existing Use	_____		
Proposed Use	_____		
Number of Elevators	_____		
Number of Standpipes	_____		
Smoke Detectors	_____		
Heating Fuel	_____		
Number of Stories	_____		
Building Height: Existing	_____ Proposed _____		
Number of Fire Alarms	_____		
Total Square Footage	_____		
Sprinklered Area Square Footage	_____		
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>			
Signed <u></u> Owner/Agent		Date: <u>01-03-18</u>	
Print Name: <u>Chn3 Welsh</u>			

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

	BUILDING ADDRESS 9131 FT SMALLWOOD RD PASADENA MD 21122 TAX ACCT NBR: 3000-9001-8604 SUBDIVISION: ROCK CREEK TAX MAP: 18 SQ. FT: 2.00 BLOCK (ST): 01 LOT: PARCEL: 0008 SECTION: DEED: 06560-718 BLOCK: PROP DESC: <p style="text-align: center;">2 ACRES</p>	===== CONTRACTOR ===== FIRST CHOICE SERVICES INC 1744 SULPHUR SPRING ROAD BALTIMORE, MD 21227 PHONE: (410) 247-4105 COUNTY LICENSE: HIC 079260 STATE LICENSE: LICENSEE: PHONE: (410) 247-4105 ===== OWNER ===== JACKSON RALPH G 9131 FORT SMALLWOOD RD PASADENA MD 21122 WORK: HOME:	Applic Date: 2017-09-08 Issue Date: 2017-09-08	B - 02348985 ADC 1																										
2664 Riva Road Annapolis, MD 21401	BUILDING PERMIT	TENANT COCONUT CHARLIE'S APPLC																												
IMPROVEMENT TYPE DEM LOC 9129 FT SMALLWOOD RD TYPE OF USE.... RESTAURANT/ASSEMBLY PROPOSED USE... RMV ALL DRYWALL, FLOOR COVERINGS, CABINETRY, INSULTN PRSD WORK LINE1 & OTHR BLDG MATERIAL NEEDED TO INSPECT EXTENT OF LINE2 DAMAGE			=HURRICANE= TIDE ZONE ELEV FLOOD MAP																											
==BUILDING CHARACTERISTICS== BUILDING HEIGHT (FT) 0 NUMBER OF STORIES 0 ELEVATORS 0 NUMBER OF STANDPIPES 0 TYPE OF OWNERSHIP PR TYPE OF CONSTRUCTION 5B SMOKE DETECTORS (Y/N) Y SEWAGE DISPOSAL TYPE S WATER SUPPLY TYPE W HEATING FUEL NBR OF FIRE ALARMS 0 TOTAL AREA SQ. FT 0 SPRINK. AREA SQ. FT 0 CONTRACT COST OF WORK \$ 25000	====BUILDING DIMENSIONS==== <table border="1"> <thead> <tr> <th>AREA</th> <th>LEN</th> <th>WIDTH</th> </tr> </thead> <tbody> <tr><td>UNFIN. BASEMENT</td><td>0</td><td>0</td></tr> <tr><td>FIN. BASEMENT</td><td>0</td><td>0</td></tr> <tr><td>1ST FLOOR</td><td>0</td><td>0</td></tr> <tr><td>2ND FLOOR</td><td>0</td><td>0</td></tr> <tr><td>GARAGE</td><td>0</td><td>0</td></tr> <tr><td>CARPORT</td><td>0</td><td>0</td></tr> <tr><td>PORCH</td><td>0</td><td>0</td></tr> <tr><td>DECK</td><td>0</td><td>0</td></tr> </tbody> </table> ====AIRPORT==== ZONE NOISE FLIGHT PATTERN =LOT CHARACTERISTICS= CORNER LOT N WATER FRONT LOT N	AREA	LEN	WIDTH	UNFIN. BASEMENT	0	0	FIN. BASEMENT	0	0	1ST FLOOR	0	0	2ND FLOOR	0	0	GARAGE	0	0	CARPORT	0	0	PORCH	0	0	DECK	0	0	GRAD PERM NBR BEDRMS 0 ====SETBACKS==== FRONT 0 0 REAR 0 0 SIDE (MIN) 0 0 SIDE (COMB) 0 0 SIDE ST 0 0 MAJ ARTERY 0 ===MAX HEIGHT=== STORIES 0.0 FEET 0 ===PARKING=== OFF STR 0 HANDICAP 0	
AREA	LEN	WIDTH																												
UNFIN. BASEMENT	0	0																												
FIN. BASEMENT	0	0																												
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GARAGE	0	0																												
CARPORT	0	0																												
PORCH	0	0																												
DECK	0	0																												
ZONING OSD FEE AMOUNT 0.00 OSD FEE CD DTE P.W. AGREEMENT FINISHED AREA 0 CENSUS TRACT CRITICAL AREA N CRIT AREA MAP 0 DRIVEWAY APRONS STORMWATER MGMT	A PERMIT UNDER WHICH NO INSPECTION HAS BEEN REQUESTED WITHIN ONE YEAR AFTER ISSUANCE SHALL EXPIRE. A PERMIT UNDER WHICH WORK COMMENCES WITHIN ONE YEAR SHALL BE CONSIDERED VALID IF CONSTRUCTION IS CONTINUOUS AND AT LEAST 33% IS COMPLETED EACH CONSECUTIVE YEAR FROM DATE OF ISSUANCE. INSPECTIONS ARE REQUIRED FOR FOOTING TRENCHES, FOUNDATION (WATERPROOFING-DRAIN TILE-BACKFILL), FRAMING, INSULATION AND FINAL. TWENTY-FOUR HOUR NOTICE IS REQUIRED FOR ALL INSPECTION REQUESTS.																													
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FTG _____ BFILL _____ INT-DTILE _____ EX-DTILE _____ SLAB _____ FRAME _____ INSUL _____ CEILING _____ STEEL _____ PIER _____ SPK RI _____ SPK FINAL _____ PROG _____ FINAL _____ FL CERT _____																														
 Director of Inspections and Permits	FEE: 165.00 Applic Date: 2017-09-08 Issue Date: 2017-09-08	PROJECT NUMBER: B - 02348985																												



9129 Ft Smallwood Rd

7/28/17

Building Permit Application

 Permit Center
 2664 Riva Road
 Annapolis MD 21401

42600

9129

Permit Number 1502348985		Fee \$ 165.00			
Date 9/2/17		Tax Acct # 03 - 000 - 9001860		Perc #	
Site Address 9131 Fort Smallwood Rd.		Map 18	Block	Parcel 8	Lot(s)
City Pasadena		State MD	Zip 21122	Subdivision	
Suite #	Tenant Name Coconut Charlie's		Tenant Location 792100		
Property Owner Information			Contractor's Information		
Company Name			Lic Type & #		
Name Ralph Jackson			Company Name MHC 7908 First Choice Services		
Mailing Address 9131 Fort Smallwood Rd.			Name JOE Ernest		
City Pasadena			Mailing Address 1744 Sulphur Spring Rd		
State MD			City Baltimore		
Zip 21122			State MD		
Telephone 410-320-2618			Zip 21227		
Email			Telephone 410-242-4105		
Email JOE@FireWindWater.com			Email		
Applicant Information			Engineer Information		
Company Name First Choice Services			Company Name EBA Engineering		
Name JOE Ernest			Name FRANK TAVERNA		
Mailing Address 1744 Sulphur Spring Rd			Mailing Address		
City Baltimore			City Baltimore		
State MD			State MD		
Zip 21227			Zip		
Telephone 410-242-4105			Telephone 410-474-3518		
Email JOE@FireWindWater.com			Email		
Architect Information			Permit Type-Check One		
Company Name			<input type="checkbox"/> New <input type="checkbox"/> Sprinklers		
Name			<input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure- Indicate heights of:		
Mailing Address			<input checked="" type="checkbox"/> Alteration/Repairs Principal _____ ft _____ in		
City			<input type="checkbox"/> Sign Accessory _____ ft _____ in		
State					
Zip					
Telephone					
Email			Is this permit application to resolve a violation? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Describe Proposed Work: Remove all Drywall, Floor Coverings, Cabinetry Insulation and Any other Building Material Needed To Inspect Extent of Damage. Engineer will Be Scheduled To Inspect Structure Damage After Interior Demo is Complete.					

Interior Demo is Complete.

7/28/17

revised 8/7/14 jpr

Anne Arundel County, Maryland

Cash Receipt

DEPT/BUSINESS UNIT NUMBER I&P 1253 DATE 09/08/2017

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF FIRST CHOICE SERVICES, 1744 SULPHUR SPRING RD, BALTIMORE, MD 21227

ISSUED BY LED1253 DISTRIBUTION

PAID BY 20571115/B02348985
(SEQUENCE/PERMIT NUMBER)

ACCOUNTINGWHITE
CASHIER.....YELLOW
ISSUING DEPT.....PINK
CUSTOMER.....GOLDENROD

VALIDATION

ANNE ARUNDEL COUNTY, MD RIVA
TREC REVENUE
Date / Time : 09/08/17 11:33
Amount : \$ 165.00
Receipt # : 10123717
Check/Credit Card #: 42606

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
----------------	----------------------------	--------------------	----------------------	--------

1253.5883

20571115/B02348985
DEMOLITION
DEMOLITION

140.00

1253.5882

20571115/B02348985
DEMOLITION
BLDG APP FEE

25.00

TOTAL

165.00

Anne Arundel County, Maryland**Cash Receipt**

I&P 1253 01/05/2018

DEPT/BUSINESS UNIT NUMBER DATE

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF PERMIT SERVICES, 2011 FRALEY LANE
PASADENA, MD 21122

ISSUED BY STC1214 DISTRIBUTION

PAID BY 20578155/B02348985

(SEQUENCE/PERMIT NUMBER)

VALIDATION

R10A

ANNE ARUNDEL COUNTY, MD

MISC REVENUE

Date / Time : 01/05/18 15:18

Payment : \$ 105.00

Receipt # : 10725392

Check/Credit Card #: 4957

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
----------------	----------------------------	--------------------	----------------------	--------

20578155/B02348985
DEMOLITION
DEMOLITION

1253,5883

105.00

TOTAL

105.00



Fire Department
8501 Veterans Highway
Millersville, MD 21108
Phone (410) 222-8200
www.aacounty.org

Allan C. Graves
Fire Chief



September 7, 2017

RE: MPIA Request #201748694

Dear Sir or Madam:

Our office is in receipt of your request dated **September 7, 2017**, which was received on **September**. Enclosed you will find the report(s) you requested and a receipt for the administrative processing fee. Please note that some information may be redacted from the report pursuant to Maryland code, if applicable.

If I can be of further assistance, please feel free to contact me at (410) 222-8307.

Sincerely,

Melinda S. Ramsey

Melinda S. Ramsey
Custodian of Records
fdrecords@aacounty.org
410-222-8307 Office
410-222-3052 Fax

Enclosure

1-3-2018

Permit Application Center
2664 Riva Road
Cannapolis, Ind 21401

Attn: Kathy Matye

Re: B02348985

Can you please remove First Choice Services Inc
from this Demo permit. They are no
longer working on our job.

Thank you,

+ [Signature]



Anne Arundel County, Maryland | Citizens Information Center

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>> Permit Menu

>> Permit Inquiry

>> Permit Browse

Department of Inspections and Permits

Welcome home to Anne Arundel County!

Permit Status Display**Permit Number and Status**

Permit Type	Building	Permit Number	B02348985
Permit Status	Active	Project Number	
Application Date	09/08/2017	Issue Date	09/08/2017
Completion Date		CO Issue Date	
Renewal Date		Expiration Date	
Internet Application			

Property Information

Tax Account Number	3000-9001-8604		
Address	9131 FT SMALLWOOD RD		
	PASADENA, MD 21122		
Job Location	9129 FT SMALLWOOD RD		
State Tax Map	18	Block	01
County Lot Nbr		Section	0008

Permit Information

Contractor Name	FIRST CHOICE SERVICES INC
Improvement Type	DEMOLITION
Use Type	RESTAURANT/ASSEMBLY
Proposed Work	RMV ALL DRYWALL,FLOOR COVERINGS,CABINETRY,INSULTN & OTHR BLDG MATERIAL NEEDED TO INSPECT EXTENT OF DAMAGE
Cost Of Work	\$25000

[Approval Status](#) | [Permit Fees](#) | [Inspection History](#) | [Pending Inspections](#)



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

**DEPARTMENT OF INSPECTIONS & PERMITS
STANDARD GRADING PLAN APPLICATION**

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number 3000 9001-8604 Building Permit # _____
Subdivision Name (if applicable) Rock Creek Lot _____ Block _____
Location 9131 Ft Smallwood Rd, Pasadena 21122
Number _____ Street _____ Post Office _____
Owner Ralph Jackson
Name 9131 FT Smallwood Rd Pasadena 21122 Phone _____
Address _____ State _____ Zip _____

Proposed Work Re-use to Demo Building to Remove Roof walls + Ex wood Deck. Salvage Foundation As possible
Critical Area Designation N/A Distance from water to disturbed area N/A ft.
Steepest slope disturbed 6% Lot size 2 acres Area to be disturbed 1050 sq. ft.

I/we certify that I/we have the authority to make this application, that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature Brenda Garver Date 1-4-2018
Applicant's Name (Please Print) Brenda GARVER
Company Name - If a Corporation _____


Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

- ☐ the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
☐ the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.

☐ Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector _____
Sign and Print _____ Date _____

SPECIAL CONDITIONS:

Incident 1748694-000		Anne Arundel County Fire 8501 Veterans HWY Millersville, MD 21108 (410)222-8200						
Date and Time	07/28/2017 03:06:02							
Station	10							
Shift	A							
Member Making	000683 - Michael Mattison							
Officer In Charge	000613 - Robert Brewer							
Dates And Times		Location Information						
Alarm Time	07/28/2017 03:06:02	Type: Street Address	Latitude	Station	10			
Arrival Time	07/28/2017 03:13:00	9129 FORT SMALLWOOD RD	Longitude	District	1010			
Controlled Time			Census Tract					
Last Unit Cleared	07/28/2017 08:46:10	Pasadena MD 21122	Property Use	162 - Bar or nightclub				
Alarms	2	Injuries and Fatalities	Property Loss	\$200000	Value \$200000			
IncidentType	111 - Building fire	Civilian Injury	0	Contents Loss	\$0 Value \$0			
Mutual Aid	N - None	Civilian Death	0	Response Time	6183666 6.0			
Detector Present	2 - None Present	Fire Fighter Injury	0	Units	55 #2 51 - Ventilate			
Hazmat Release		Fire Fighter Death	0	Persons	57 #3 52 - Forcible entry			
Area Of Origin	Other	Factor Contributing To Ignition	Undetermined					
Heat Source	Undetermined	Fire Suppression Factor						
Item First Ignited	Undetermined	Human Factor	None					
Material First Ignited	Undetermined							
Cause of Ignition	Cause under investigation							
Buildings Involved	1							
Residential Units								
Acres								
Structure Type	Enclosed building	Story Of Origin	1					
Structure Status	In normal use	Floors Above Grade	1					
Fire Spread	Confined to building of origin	Floors Below Grade	1					
Item Contributing to Flame Spread		Floors Damaged						
Material Contributing to Flame Spread		Minor						
Length	60	Significant						
Width	40	Heavy	1					
Area	2400	Extreme						
Unit	Dispatch	Enroute	Arrival	To Med	At Med	Cleared	In Service	In Quarters
E122	03:06:42	03:09:25	03:14:41			06:48:15		
TK13	03:06:42	03:10:02	03:16:56			06:49:27		
E201	03:08:26	03:11:14	03:17:11			06:48:06		
TK30	03:08:26	03:11:40	03:17:14			06:43:49		
TA40	03:08:26	03:12:45	03:34:48			06:34:54		
TA6	03:08:26	03:12:39	03:35:40			04:19:33		
E084	03:08:26	03:11:18	03:38:49			06:34:23		
E121	03:08:27	03:10:28	03:17:51			06:32:52		
E112	03:08:27	03:11:27	03:26:47			06:28:58		
TK33	03:08:27					03:09:21		
SQ43	03:08:27					03:09:32		
MU10	03:08:27	03:11:28	03:15:57			06:49:56		
BC02	03:08:28	03:09:40	03:23:32			06:58:21		
SAFE5	03:08:28	03:10:49	03:33:10			06:20:04		
E181	03:08:52	03:11:40	03:18:52			06:37:55		

Narratives

0 07/28/2017 07:19:07

Narrative Written By 000831 David M. Peel

On Friday, 28 July 2017 at 03:06:02, units E104, TK13, E201, E121, E112, TK30, TK33, SQ43, TA40, TA6, E084, MU10, BC02, SAFE5, E181, SQ33, C11, AC11, FM868, FM869, E261, TA03, ME094, SAFE1, PIO3, CW3, CW1, RHAB1, OPS05, MU30, WI, E311, E321, E211, BCE57, TW26, TK31, SQ43, TA01, TA42, MU12, BC01, SAFETY, EMS01, PLAN, 2AC1, E171, SQ38, SQ04, FM861, K91, E231, OPS2, U13 and PIO1 responded to an unreported incident type at 9129 FORT SMALLWOOD RD, Pasadena, MD 21122. Upon arrival a 111 - Building fire incident was found.

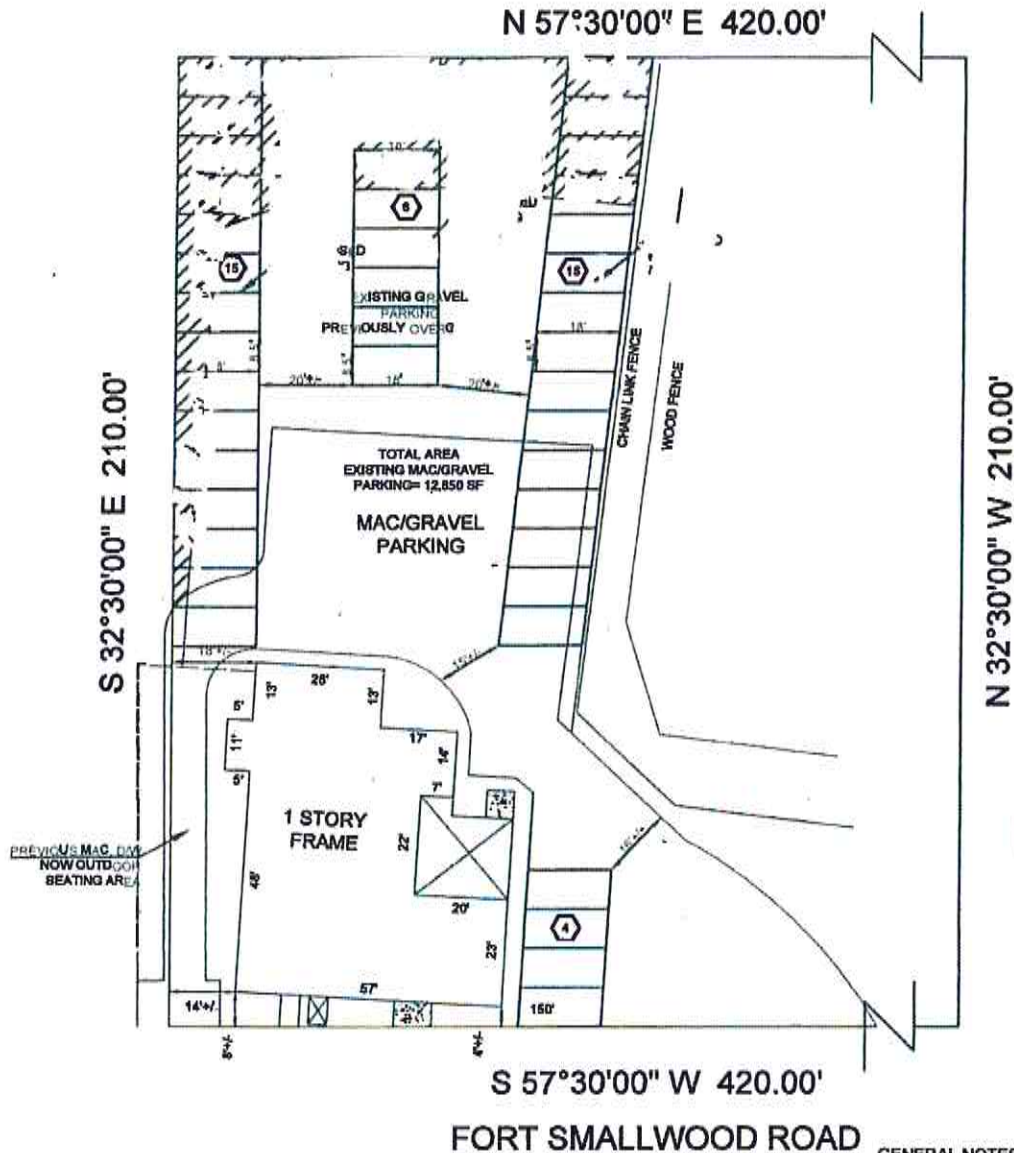
The primary property use is 162 - Bar or nightclub.

Unit AC11, the first arriving unit, arrived at 03:13:59. The last unit on scene, BC02, cleared the scene at 06:58:21.

Actions taken by the primary responding units were: 11 - Extinguish; 51 - Ventilate and 52 - Forcible entry.

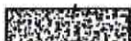
A total of 55 apparatus and 29 personnel responded to this call.

E104 was initially dispatched for an "alarm sounding" but the assignment was quickly upgraded to a full box assignment with reports coming in of fire showing on the side of the building. E104 laid an initial supply line to the A side of the building but was directed to the C side of the building by C11 who was on location and had established command. E104 advanced a 1 3/4 handline to the B side and encountered a wooden walkway on fire with extension to the siding on the building as a continuous water supply was established. The fire was quickly extinguished and entry was forced via the B side door and the C side door. The exterior siding and gutters were removed to ensure no extension on the exterior. Interior ceilings were hooked and the attic hatch was opened in an attempt to clear the attic space. The roof was opened up externally to extinguish fire in the attic. A second alarm was called for and once extinguishment was complete it was ensured that no further fire spread was present and the structure was ventilated and turned over to members of the AACoFD FIB.



THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

 = CONCRETE

LOCATION DRAWING:

I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON, AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-

Walter T. Tydings
Professional Land Surveyor # 1501

Date

GENERAL NOTES

- 1). THIS PLAT IS OF BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OF A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH A CONTEMPLATED TRANSFER, FINANCING, OR RE-FINANCING.
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Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122

Date: 10/05/09 Job #: 9376

Property Description:

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFD RFF # 6560/718

RV A

1.22.18

IPD131C/MS3A DISPLAY PERMIT INFORMATION BUILDING PERM OFFICE A
===== ===== NBR B02348985 INIT STC1214
=====PROPERTY===== NXT B02348986
9131 FT SMALLWOOD RD =====CONTRACTOR/LICENSEE=====
PASADENA MD 21122 OWNER
TAX ACCT NBR 3000 - 9001 - 8604 XXXXXXXXXXXXXXXXXXXXX
SUBDIV: ROCK CREEK XXXXXXX, XX 11111
TAX MAP 18 ACREAGE 2.000 PHONE - LIC # CTR - 003157
BLOCK(ST) 01 LOT
PARCEL 0008 SECTION
DEED 06560-718 BLOCK
PR DESC: 2 ACRES
=====
ADC - TENANTS COCONUT CHARLIE'S
LOCATION 9129 FT SMALLWOOD RD
TYPE OF IMPROVEMENT: DEM TYPE OF USE: RES
PROPOSED USE.....: DEMOLISH TO FOUNDATION
PROPSD WORK LINE1:
 LINE2: RVSD 1/5/18 (KM)
PERMIT DATES.....: APP: 09/08/17 ISS: 09/08/17 CMP: EXP:
 INT: ACTIVE VIOLATION EXISTS
CURRENT STATUS...: A REV IND: RNW: PROJECT #: NO CIA
PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF9=NEXT PF12=EXIT

REV "A" LOD=1,050P PER SLS SITE'S GRAVEL & PAVEMENT
SCOPE & REBUILD & DEMO WITHIN 3'S

1/9/2018

ABATES VIOLATION B 2017-529

RV



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

DEPARTMENT OF INSPECTIONS & PERMITS STANDARD GRADING PLAN APPLICATION

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number 3000 9001-8604 Building Permit # BOB48985
Subdivision Name (if applicable) Rock Creek Lot _____ Block _____
Location 9131 Ft Smallwood Rd, Pasadena 21122
Number _____ Street _____ Post Office _____
Owner Ralph Jackson
Name 9131 Ft Smallwood Rd Pasadena 21122 Phone _____
Address _____ State _____ Zip _____

Proposed Work Re-use to Demo Building to Remove Roof walls + Ex wood Deck. Salvage Foundation As possible

Critical Area Designation N/A Distance from water to disturbed area N/A ft.
Steepest slope disturbed 6% Lot size 2 acres Area to be disturbed 1050 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature Brenda Garver Date 1-4-2018

Applicant's Name (Please Print) Brenda GARVER
Company Name - If a Corporation _____

Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

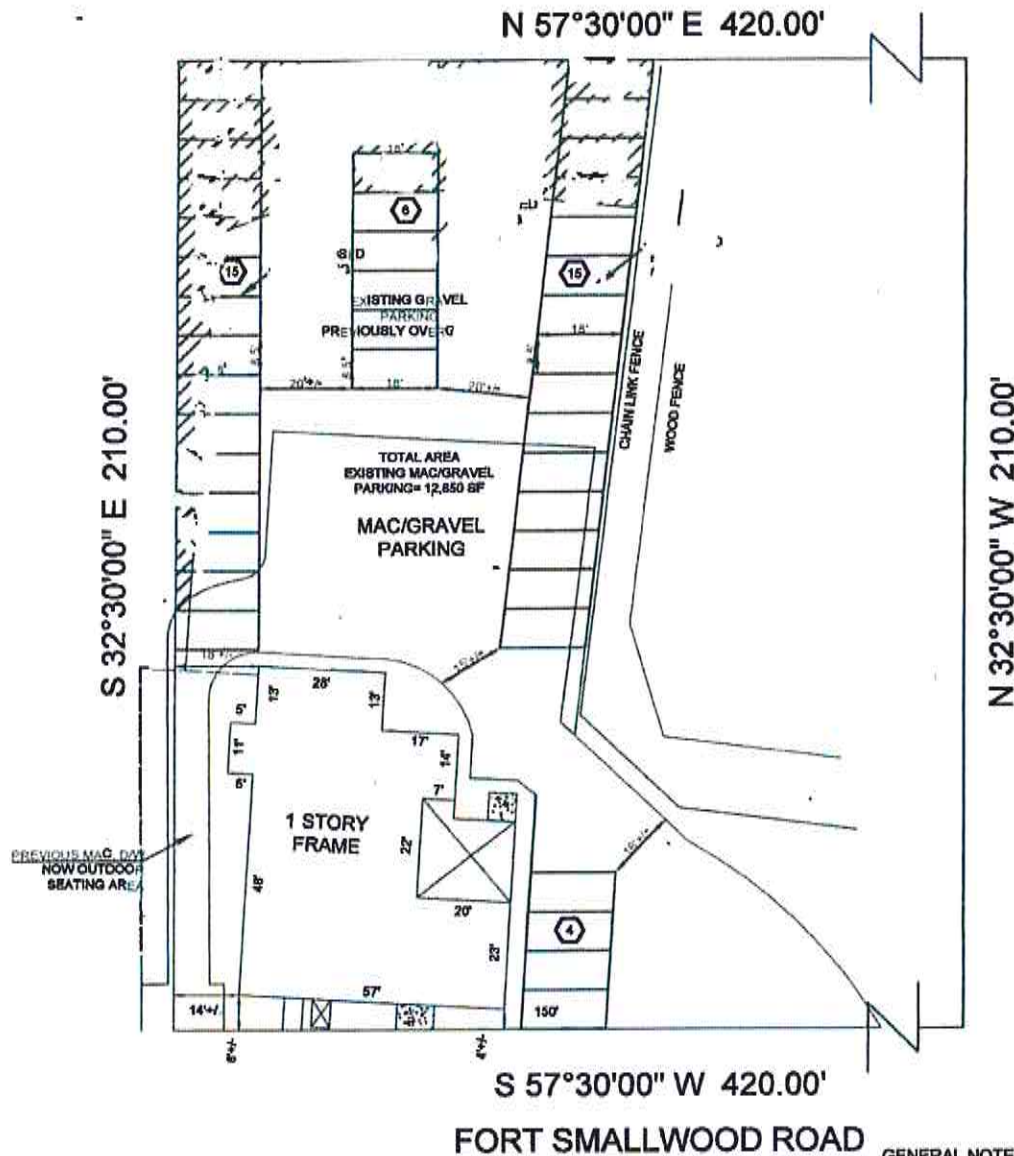
- ☒ the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
- ☐ the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.

☐ Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector Sharon Jacob
Sign and Print SHARON JACOB

Date 1/9/2018

SPECIAL CONDITIONS:



Rev. A
1.22.18

REVISED
1.5.18

THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

 = CONCRETE

LOCATION DRAWING:

I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON. AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-

Walter T. Tydings
Professional Land Surveyor # 150

Date

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Date: 10/05/09 Job #: 9376

Property Description:

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
OFFD RFF # 6560/71R

302348995 (Grading)

IPD131C/MS3A DISPLAY PERMIT INFORMATION BUILDING PERM OFFICE A
===== ===== NBR B02348985 INIT LED1253
=====PROPERTY===== NXT B02348986
=====CONTRACTOR/LICENSEE=====

9131 FT SMALLWOOD RD OWNER
PASADENA MD 21122 XXXXXXXXXXXXXXXXXXXX
TAX ACCT NBR 3000 - 9001 - 8604 XXXXXXXX, XX 11111
SUBDIV: ROCK CREEK PHONE - LIC # CTR - 003157
TAX MAP 18 ACREAGE 2.000
BLOCK(ST) 01 LOT
PARCEL 0008 SECTION
DEED 06560-718 BLOCK
PR DESC: 2 ACRES

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ADC - TENANTS COCONUT CHARLIE'S
LOCATION 9129 FT SMALLWOOD RD
TYPE OF IMPROVEMENT: DEM TYPE OF USE: RES
PROPOSED USE.....: DEMOLISH TO FOUNDATION, RVSD 1/5/18(KM),
PROPSD WORK LINE1: ADD DEMOLITION OF FOUNDATION-RV 4/18/16*LD*
LINE2:
PERMIT DATES.....: APP: 09/08/17 ISS: 09/08/17 CMP: EXP:
INT: ACTIVE VIOLATION EXISTS
CURRENT STATUS....: A REV IND: RNW: PROJECT #:
PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF9=NEXT PF12=EXIT

1/11/18 LOD = 3,000\$ DETAIL, SCOPE REBUILD WARNING.

Sharon Jacob 4/26/2018
MP